# THE POINTE AT BARCLAY PHASE III HOTEL TRACT

## NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT 1-800-632-4949

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT ATTN: BRIAN CHAMBERS, PLANNER PH: 910-342-2782

ATTN: ZONING INSPECTIONS PH: 910-254-0900

PIEDMONT NATURAL GAS ATTN: PAUL GONKA PH: 910-251-2810

EMERGENCY DIAL 911 POLICE - FIRE - RESCUE ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY PH: 910-343-0696 CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER) ENGINEERING/INSPECTIONS PH: 910-332-6560

OPERATIONS/MAINTENANCE PH: 910-322-6550

DUKE ENERGY DISTRIBUTION CONSTRUCTION SERVICE DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT BILL WILDER PH: 910-772-4903

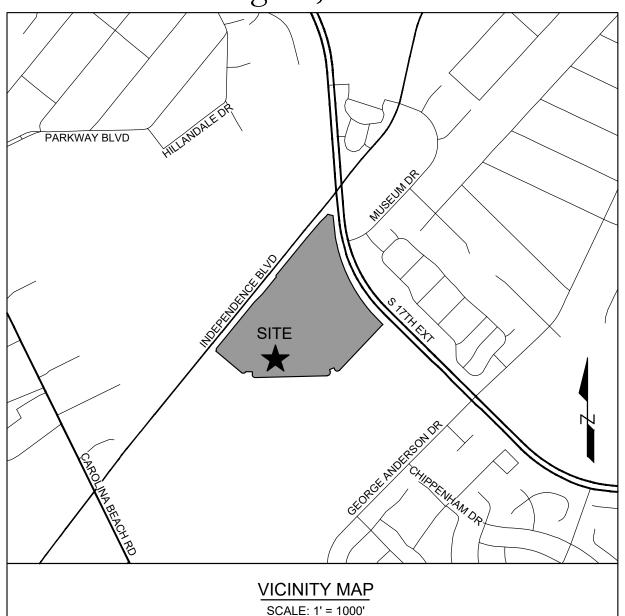
AT&T/BELL SOUTH ATTN: STEVE DAYVAULT (BUILDING ENGINEERING) PH: 910-341-0741

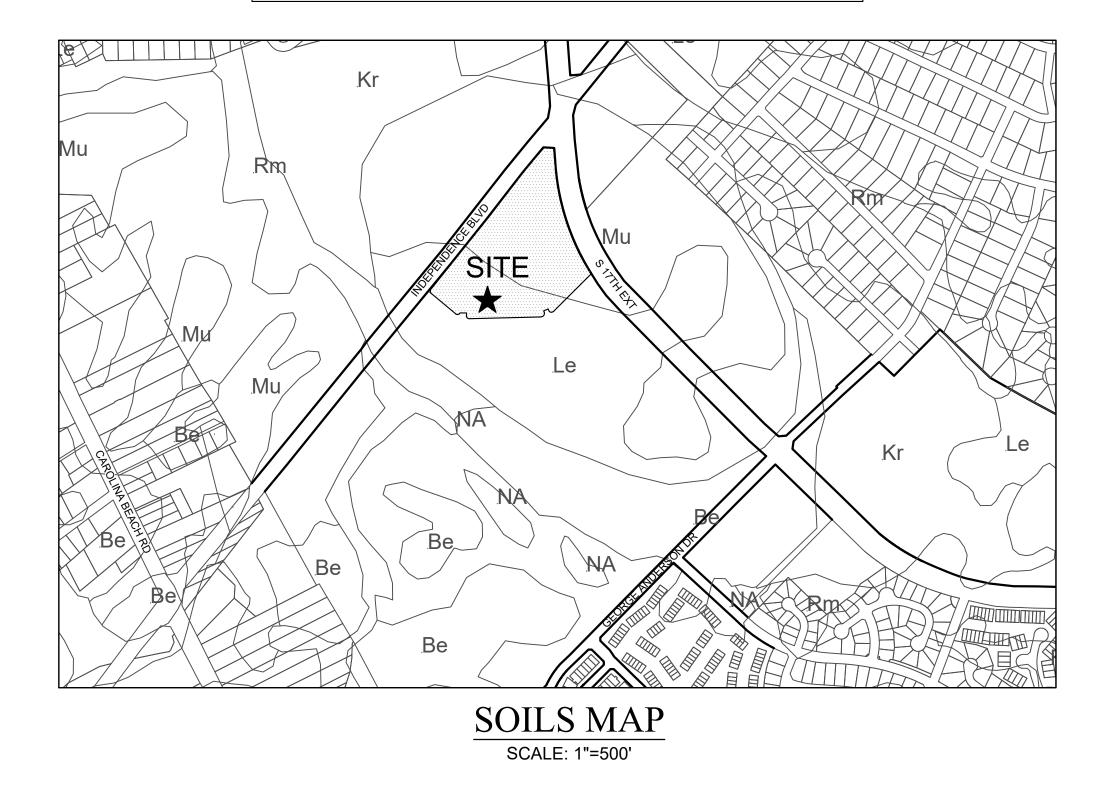
ATTN: JAMES BATSON, ENGINEERING PH: 910-341-1621

SPECTRUM GENERAL PH: 800-892-4357

# WILMINGTON, NORTH CAROLINA DESIGN DOCUMENTS JANUARY 2020

PROJECT ADDRESS: 2177 Stone Crop Drive Wilmington, NC 28412





OWNER & DEVELOPER: WILMINGTON HOTEL INVESTORS, LLC 130 CANAL STREET, SUITE 101 POOLER, GEORGIA 31322 ATTN: MEHUL PATEL

CIVIL ENGINEER - ATTN: DAN FISK, PE

CIVIL ENGINEERS, LAND PLANNERS & LANDSCAPE ARCHITECTS: PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NORTH CAROLINA 28403 910.791.6707

LANDSCAPE ARCHITECT - ATTN: ALLISON ENGEBRETSON, RLA

SHEET INDEX SHEET NUMBER SHEET TITLE COVER SHEET C-0.0 GENERAL NOTES C-1.0 NPDES NOTES C-1.1 **OVERALL SITE PLAN** C-2.0 SITE PLAN C-2.1 C-3.0 - C-3.1 EROSION CONTROL PLAN C-4-0 **GRADING & DRAINAGE PLAN** C-5-0 - C-5.5 DETAILS

PREPARED E	BY:		
PARAMOL ENGINEERIN	G, INC.		
122 Cinema Drive Wilmington, North Carolir (910) 791-6707 (O) (910) 791-6 NC License #: C-2846 PROJECT # 18485.PE	na 28403	For each open ut City streets, a \$3 shall be required City prior to occ and/or project ac	25 permit from the cupancy
	Approved Co	onstruction Pla	<u>in</u>
	<u>Na</u>	ame	<u>Date</u>
Planr	ning		
Traffi	c		
Fire			
	Public Services	MINGTO NORTH CARO	vision
		Permit #	
	Signed:		

FINAL DESIGN -	NOT RELEASE	ASED FOR CONSTRUCTION			
Professional redacted on ele copy per Ci Wilmington C–O PEI JOB#: 1848	PROJECT STATUS CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: FINAL DESIGN: RELEASED FOR CONST: DRAWING INFORMATION	COVER SHEET THE POINTE AT BARCLAY PHASE III HOTEL TRACT BARCLAY WEST TRACT B'	<b>PARAMOUNTE</b> R D R R R R R R R R R R R R R R R R R R	Wilmington Hotel Investors, LLC	REVISIONS:
ectronic ty of	DATE: 06.17.20 SCALE: AS NOTED DESIGNED: AS NOTED DJF DRAWN: DJF CHECKED: DJF		Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	150 Canal Street, Suite 101 Pooler, GA 31322	

### COORDINATION NOTES:

THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION. THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT. THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT
- CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY HIPP ARCHITECTURE & DEVELOPMENT, PC FOR ALL BUILDING DIMENSIONS AND DETAILS.
- GENERAL NOTES:
- TREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER, OWNERS REPRESENTATIVE AND/OR PARAMOUNTE ENGINEERING INC. IMMEDIATELY. GALLERY PARK BOULEVARD UTILITY, LAYOUT AND GRADING INFORMATION WAS TAKEN FROM HANOVER DESIGN SERVICES, P.A. DESIGN PLANS. THE POINTE PHASE I AND PHASE II UTILITY, LAYOUT AND GRADING INFORMATION WAS TAKEN FROM A COMBINATION OF PARAMOUNTE ENGINEERING, INC. DESIGN PLANS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS PROVIDED FOR ALL UTILITY CONNECTIONS, STORM CONNECTIONS, GRADING TIE-INS, ETC. AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AN ALLOW THE CENTER TO LOCATE EXISTING
- UTILITIES BEFORE DIGGING. STREET TREES MUST BE LOCATED A MINIMUM OF 15 FEET FROM STREET LIGHTS.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVE OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10'.

DEMOLITION NOTES:

PROTECTION FENCING.

- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED.
- DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE
- MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE
- AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND
- PROPER DISPOSAL CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS
- TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS
- EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
- LITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

### RAFFIC NOTES:

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5899 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED
- CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW. CONTACT RAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE R/W.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
- A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET- YARD PLANTINGS SHALL BE PROVIDED FOR REVIEW OF SIGHT DISTANCES AND ANY OTHER REQUIREMENTS OF TRAFFIC ENGINEERING. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED; WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION S STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.

- CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE. CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS
- INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
- PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY
- IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
- DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL.
- UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SODDED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

SENERAL EROSION AND SEDIMENT CONTROL NOTES:

- THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUNDCOVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
- UNLESS OTHERWISE INDICATED. ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
- THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING

- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFI NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHA 12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OF
- COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NEW HANOVE APPROVAL IS REQUIRED. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA E
- CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT). 14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO
- THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTOF CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATEL MAINTENANCE PLAN:
- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWI PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMM ALL PRACTICES AS DESIGNED.
- ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 ST DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED
- SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. BE BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART I USED WITH 8 FOOT STAKE SPACING.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICAT PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- INLET PROTECTION INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (2/ INCH OR GREATER) RA MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAK UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED
- SILT SACK INLET PROTECTION INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH RAINFALL EVENT. REMOVE BJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE THE SILT SACK REMOVAL.
- SEDIMENT BASIN/SEDIMENT TRAPS REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS O WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK TH SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PIPING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IN ASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.
- SKIMMER INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INT. OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SI
- OUTLET PROTECTION INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (# INCH OR GRE O SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOD ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. 10. EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF
- HE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTH RIP RAP LINED APRONS. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE CON GRASS SWALES - INSPECT SWALES WEEKLY AND AFTER EVERY RAINFALL EVENT. AFTER GRASS HAS BEEN EST SWALES PERIODICALLY AND AFTER EVERY HEAVY (\$ INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIAT CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. KEEP THE GRASS IN A HEALTH' ALL TIMES, SINCE IT IS THE PRIMARY EROSION PROTECTION FOR THE CHANNEL.
- CONCRETE WASHOUTS CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMA PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EV OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED. PERMANENT SEEDING SCHEDULE - MIXTURE 5CP

Seeding Mixture	
WINTER AND EARLY SPRING	
SPECIES	RATE (LB/ACRE
RYE (GRAIN)	120
ANNUAL LESPEDEZA (KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	50
DMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE.	

### Seeding dates

6

13.

18.

THE PROJECT.

SET FORTH IN THESE PLANS.

### ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASE SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.

MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.

SEEDING TO BE INSTALLED TO LOCAL REQUIREMENTS & STANDARD PRACTICES.

ALL PARKING LOT DIMENSIONS ARE FROM FACE OF CURB UNLESS NOTED OTHERWISE.

NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.

STRUCTURES. CONTACT NORTH CAROLINA ONE CALL" TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE

THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS

PROPERTY OWNER'S ASSOCIATION (POA) WILL BE RESPONSIBLE FOR ALL PRIVATE RIGHT OF WAY AND LANDSCAPE MAINTENANCE WITHIN

12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.

14. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO NCDOT. ALL PARKING STALL

GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):		NC ACCESSIBILITY NOTES:	GENERAL UTILITY NOTES			
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF- NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL		GENERAL NOTES: 1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.	1. ALL PROPOSED UTILITIES ARE PRIV	ATE UNLESS OTHERWISE	NOTED.	
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NEW HANOVER OF		<ol> <li>IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE</li> </ol>	2. ALL STORM SEWERS SHALL BE CON THE DRAWINGS AND IN THE PROJEC		NCE WITH CITY (	OF WILMINGTON R
APPROVAL IS REQUIRED. 13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA EN' CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).	TRANCES AND ALL	REQUIREMENTS AT THE POINT IN TIME WHEN THEYARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNTE ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT	3. BEDDING FOR ALL STORM SEWER P			
<ol> <li>WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO D THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM, DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.</li> </ol>		THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK. 3. THE CONTRACTOR SHALL NOTIFY PARAMOUNTE ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNTE ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE	4. ALL STORM SEWER PIPES SHOWN A UNLESS INDICATED OTHERWISE ON STORM WATER NOTES		ALL BE REINFOF	RCED CONCRETE F
MAINTENANCE PLAN:		WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S). 4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO	1. TOTAL SITE AREA = 34.993 AC			
<ol> <li>ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWIN PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMME ALL PRACTICES AS DESIGNED.</li> </ol>		SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION. ACCESSIBLE ROUTE NOTES:	2. DISTURBED AREA = SEE EROSION C			4 404 85 (24 00 40)
<ol> <li>ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STOL DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.</li> </ol>	NE TO MAINTAIN PROPER	<ol> <li>AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS OR SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.</li> </ol>	<ol> <li>ALLOCATED IMPERVIOUS AREA DR4</li> <li>RECEIVING STREAM = BARNARDS C</li> </ol>		SYSTEM = 1,084	,,491 SF (24.90 AC)
<ol> <li>SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE BE BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UN USED WITLING FOR OTHER SPACED OF THE SEDIMENT.</li> </ol>		<ol> <li>AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.</li> </ol>	WETLAND NOTES:			
<ol> <li>USED WITH 8 FOOT STAKE SPACING.</li> <li>ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATION PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.</li> </ol>	ONS IN THE VEGETATIVE	3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.	1) NO WETLANDS EXISTS ON THIS SITE.			
<ol> <li>INLET PROTECTION - INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (<sup>1</sup>/<sub>2</sub> INCH OR GREATER) RAIN MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE C.</li> </ol>		<ol> <li>ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.</li> <li>TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABRUPT VERTICAL CHANGES (1/4)</li> </ol>	ROOF DRAIN NOTE:			
<ul><li>UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.</li><li>6. SILT SACK INLET PROTECTION - INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH RAINFALL EVENT. REMOVE INTERCULATION AND AFTER EACH RAINFALL EVENT.</li></ul>	DEBRIS OR OTHER	<ol> <li>TRANSTITIONS BETWEEN RAMPS, WALLS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHAND FREE OF ABROPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).</li> <li>FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.</li> </ol>	1) PROPOSED BUILDING SHALL DIVERT SYSTEM.	ROOF DRAINAGE TO STO	RMWATER COLL	LECTION
OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE THE SILT SACK DU REMOVAL. 7. SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS V		7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).	EXISTING UTILITY NOTES:			
TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK THE SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PIPING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMM TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.	EMBANKMENT, EDIATELY. REMOVE ALL	8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. * SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES*	1. IT IS THE RESPONSIBILITY OF THE G AVAILABILITY OF ALL EXISTING AND			
<ol> <li>SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAI OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VE THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKII WITH ICE.</li> <li>OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (<sup>1</sup>/<sub>2</sub> INCH OR GREAT</li> </ol>	GETATION GROWING ON MMER FROM PLUGGING	9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALLPROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE; OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.	2. EXISTING UTILITIES AND STRUCTUR BASED ON A FIELD SURVEY AND TH FIELD VERIFY FIELD CONDITIONS PF SHALL BE REPORTED TO THE OWNE	E BEST AVAILABLE RECOR RIOR TO BEGINNING RELA	RD DRAWINGS. TED CONSTRUC	THE CONTRACTOR
5. OUTLET FROTECTION - INOPECTING FROE OUTLET STRUCTURES WEEKET AND AFTER SIGNIFICANT (FINCH OR GREAT TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGI ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.		<ol> <li>DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS &amp; REGULATIONS.</li> <li>DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE</li> </ol>				
<ol> <li>EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REF RIP RAP LINED APRONS. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER</li> </ol>	PAIR ANY VOIDS IN THE	<ol> <li>Direct formal signade indicating the route to the nearest accessible boilding entrance shall be provided at inaccessible Building entrances.</li> <li>WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS),</li> </ol>	LEGEND			
11. GRASS SWALES - INSPECT SWALES WEEKLY AND AFTER EVERY RAINFALL EVENT. AFTER GRASS HAS BEEN ESTAB SWALES PERIODICALLY AND AFTER EVERY HEAVY ( INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATEI CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. I	LY. INSPECT THE	A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS <u>RAMP NOTES:</u>		= EXISTING WET	<b>FLANDS</b>	
SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. KEEP THE GRASS IN A HEALTHY, N ALL TIMES, SINCE IT IS THE PRIMARY EROSION PROTECTION FOR THE CHANNEL.		<ol> <li>ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.</li> <li>THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.</li> </ol>	24	= EXISTING PRO		
12. CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAG PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAF OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER C OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.	PORATE TO AVOID	<ol> <li>THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.</li> </ol>	©IPF	= IRON PIPE FO		
PERMANENT SEEDING SCHEDULE - MIXTURE 5CP		<ol> <li>THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.</li> <li>LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY</li> </ol>	© <sup>IRF</sup>	= IRON ROD FO	UND	
Seeding Mixture SPECIES RATE (LB/ACRE)		DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LEADING CLEAR LEADING CLEAR LEADING CLEAR LEADING OF SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.	⊡ CMF	= CONCRETE M	ONUMENT	
CENTIPEDE GRASS 10-20		6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.	۵	= TELEPHONE F = UNDERGROUM		
Seeding Dates MARCH - JUNE		<ol> <li>FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.</li> <li>EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND</li> </ol>	TR	= TRANSFORME		
Soil Amendments APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.		APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS. 9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING		= PROPOSED IN	ILET	
Mulch		AREA. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.		= PROPOSED S	TORM SEWER	R
DO NOT MULCH.		CURB RAMP NOTES: 1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.	D	= PROPOSED S	TORM DRAIN	MANHOLE
Maintenance FERTILIZE VERY SPARINGLY20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDE GRASS CANNOT OR EXCESS FERTILIZER.	TOLERATE HIGH PH	2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.	<b>C+8</b>	= PROPOSED CI	URB INLET	
		<ol> <li>THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 &amp; 1104.2).*</li> </ol>	DHB	= PROPOSED DI	ROP INLET	
TEMPORARY SEEDING-LATE WINTER/EARLY SPRING Seeding Mixture		4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.	MH-8	= PROPOSED S	FORM DRAIN	MANHOLE
WINTER AND EARLY SPRING		5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.	PG=49.90	= PROPOSED S		IONS
SPECIES     RATE (LB/ACRE)       RYE (GRAIN)     120		<ol> <li>WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.</li> <li>CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE</li> </ol>		= PROPOSED C = PROPOSED D		REAS
ANNUAL LESPEDEZA (KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS) 50		MARKINGS, EXCLUDING ANY FLARED SIDES. 8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.		= PROPOSED S	ILT FENCE	
		<ol> <li>IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA</li> </ol>		= PROPOSED LI	MITS OF DIS	TURBANCE
SUMMER SPECIES RATE (LB/ACRE)		STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE. 10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ½ INCH WIDE BY ½ INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE		= PROPOSED TI	REE PROTEC	TION FENCING
GERMAN MILLET 40		RAMP. 11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.		= PROPOSED IN		
FALL		12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK. 13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.	<b>—</b>	= PROPOSED TF = PROPOSED W		
SPECIES         RATE (LB/ACRE)           RYE (GRAIN)         120		14. CURB RAMP TYPE AND LOCATION ARE PER PLAN. PARKING SPACE NOTES:	_0_	= PROPOSED S	IGN	
Seeding dates		<ol> <li>ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.</li> </ol>		= PROPOSED S	ANITARY SEV	NER SERVICE
COASTAL PLAIN - DEC.1-APR. 15 - LATE WINTER AND EARLY SPRING APRIL 15 - AUG. 15 - SUMMER AUG. 15 - DEC. 30 - FALL		2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER	• C.O.	= PROPOSED S/ = EX. ASPHALT /		
Soil amendments FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 FERTILIZER.	LB/ACRE 10-10-10	PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE. 3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH		= PROPOSED A	SPHALT PAVE	EMENT SECTIC
Mulch		PROVISIONS FORACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES. 4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.		= PROPOSED C	ONCRETE CL	JRB & GUTTER
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.	A DISK WITH BLADES	5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.				
Maintenance REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING ERC DAMAGE. SITE NOTES :	DSION OR OTHER	<ol> <li>ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.</li> <li>ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPTFOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.</li> </ol>	STABILIZATION TIME FRAMES: *IN THE EVENT THAT THE GOVE CONTRACTOR SHALL MEET THE	MORE STRINGENT	REQUIREM	IENT.
<ol> <li>ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEM</li> </ol>		<ol> <li>8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.</li> <li>9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.</li> </ol>	SITE AREA DESCRIPTI			
<ol> <li>SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.</li> <li>CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM DAMAGE</li> </ol>	ROM INJURY, AND	10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.	HIGH QUALITY WATER (HQW) ZONES	7	DAYS	NONE
ADJOINING PROPERTY PROTECTED FROM DAMAGE.  ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDIN RESPECTIVE UTILITY.	IATED WITH THE	NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.	SLOPES STEEPER THAN 3:1 SLOPES 3:1 OR FLATTER		DAYS DAYS	IF SLOPES ARE 10 NOT STEEPER TH 7 DAYS FOR SLOP
4. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.		12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.	ALL OTHER AREAS WITH SLOPES FLATT	ALITY STABILIZATIO		
<ol> <li>THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT A WEEK DURING CONSTRUCTION.</li> <li>THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION UMITS" BROOM CLEAN AT ALL</li> </ol>		13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.	DENUDED AREAS MUST BE STABILIZED WI BE STABILIZED WITHIN TWENTY-ONE (21) ( CHANNELS AND STOCKPILES.	TH FIFTEEN (15) WORKING	G DAYS OF CEAS	SE OF ANY PHASE
<ol> <li>THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT AL</li> <li>ALL UTILITIES TO SERVICE PROPOSED STRUCTURE SHALL BE UNDERGROUND ON SITE.</li> </ol>	L HMES.	14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).	NPDES BUILDING WASTES HAND			
<ol> <li>ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED I THE SPECIFICATIONS.</li> </ol>		1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG	<ol> <li>DEDICATED AREAS FOR DEMOLITION STREAMS UNLESS NO REASONABLE</li> <li>EARTHEN-MATERIALS STOCKPILES M</li> </ol>	I, CONSTRUCTION AND OT ALTERNATIVES AVAILABL	E.	
9. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPIN CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY		MINIMUM. 2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.	ALTERNATIVES AVAILABLE. 4. CONCRETE MATERIALS MUST BE CO NPDES INSPECTIONS:	NTROLLED TO AVOID CON	ITACT WITH SUF	RFACE WATERS, W
<ul> <li>LETTER TO THE ENGINEER.</li> <li>10. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DE' DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW, NO DEPARTURES FROM TH SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, DESPECTIVELY</li> </ul>	IE CONTRACT DOCUMENT	<ol> <li>ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.</li> <li>VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.</li> </ol>	SAME WEEKLY INSPECTION REQUIRE SAME RAIN GAUGE & INSPECTIONS A INSPECTIONS ARE ONLY REQUIRED I INSPECTION REPORTS MUST BE AVA APPROVED.	FTER 0.5" RAIN EVENT. DURING "NORMAL BUSINE ILABLE ON-SITE DURING E	BUSINESS HOUF	RS UNLESS A SITE-
RESPECTIVELY.  11. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL		<ol> <li>FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.</li> <li>VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING</li> </ol>	<ol> <li>RECORDS MUST BE KEPT FOR 3 YEA</li> <li>ELECTRONICALLY AVAILABLE RECOF</li> </ol>			AIN CONDITIONS.
NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ( NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR I COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIO TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE	DAMAGES OR EXTRA NNS OR FROM DELAY DUE	<ol> <li>VENICE PULL-OF SPACES, ACCESS AISLES SERVING THEM AND A VENICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.</li> <li>ACCESSIBLE ENTRANCE NOTES:</li> </ol>	NPDES SEDIMENT BASINS: 1. OUTLET STRUCTURES MUST WITHDF 2. USE ONLY DWQ-APPROVED FLOCUL/		CE UNLESS DRAI	INAGE AREA IS LE:

NPDES - SPECIFIC PLAN SHEETS NOTES: ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE

THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000 THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GE

NCG010000. 4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THE NPDES PORTION OF THIS PAGE OF THE PLA OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY

VETLANDS NOTE: IO WETLANDS EXIST ON SIT

LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE

ACCESSIBLE ENTRANCE NOTES:

NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

	SRB-6-1215 CONDITIONS:	07.23.20
MINGTON REQUIREMENTS AS SPECIFIED ON	<ol> <li>THE DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PRELIMINARY PLAN AS AF THE SRB.</li> <li>APPROVAL OF THIS PRELIMINARY PLAN DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL THE TECHNICAL REVIEW COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RE DRO FOR THE ORDITION OF THE STATE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RE</li> </ol>	APPROVAL BY
CONCRETE PIPE CONFORMING TO ASTM C-76,	<ul> <li>PROJECT FOR CONSTRUCTION.</li> <li>3. UTILITIES SHALL BE LOCATED UNDER THE ASPHALT TO AVOID LANDSCAPING CONFLICTS.</li> <li>4. IN ACCORDANCE WITH THE CITY TECHNICAL STANDARDS, MULTI-USE PATH SHALL BE INSTALLED BY THE DEVELO THE ENTIRE FRONTAGES OF S. 17TH STREET.</li> </ul>	PER ALONG
	<ol> <li>IN ACCORDANCE WITH THE CITY TECHNICAL STANDARDS, SIDEWALK SHALL BE INSTALLED BY THE DEVELOPER A ENTIRE FRONTAGES OF INDEPENDENCE BOULEVARD.</li> <li>TREES DESIGNATED TO BE PRESERVED MUST BE PROPERLY PROTECTED DURING CONSTRUCTION AND TREE PROFECTION AND TREE PROFECTION</li></ol>	
	<ul> <li>FENCING SHALL BE NOTED ON THE CONSTRUCTION PLANS.</li> <li>7. ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.</li> <li>8. ALL TECHNICAL REVIEW COMMITTEE COMMENTS SHALL BE FOLLOWED.</li> </ul>	
= (24.90 AC)	<ol> <li>AN ACCEPTABLE PRELIMINARY PLAN WHICH ADEQUATELY ADDRESSES ALL TRC/SRB COMMENTS SHALL BE SUBM SUBDIVISION COORDINATOR'S SIGNATURE WITHIN THIRTY (30) CALENDAR DAYS OF SRB APPROVAL.</li> <li>ALL EXISTING AND PROPOSED PUBLIC AND NON-MUNICIPAL EASEMENTS SHALL BE ADDED TO THE PRELIMINARY</li> </ol>	
	<ul> <li>NECESSARY.</li> <li>TENANTS / ON-SITE OWNER-OCCUPANTS AND BUSINESSES OPERATING WITHIN THE SUBDIVISION SHALL AGREE 1 LOADING SHALL OCCUR AT OFF-PEAK HOURS.</li> </ul>	
	SRB-6-1215 WAIVERS:     A WAIVER FROM THE MINIMUM REQUIRED OFFSETS BETWEEN CENTERLINES OF INTERSECTIONS	OF WILMINGTON
	A WAIVER FROM THE MINIMUM REQUIRED OFFSETS BETWEEN CENTERLINES OF INTERSECTIONS     A WAIVER FROM THE MAXIMUM LENGTH OF A PRIVATE DRIVEWAY     A WAIVER FROM THE MINIMUM CENTERLINE CURVE RADII     A WAIVER FROM PROVIDING SIDEWALK ON BOTH SIDES OF THE STREET	ISIONS NHC COM
N	A WAIVER TO ALLOW THE USE OF SLOPED OR FLUSH CURB IN SELECT LOCATIONS     A WAIVER FROM THE MINIMUM PAVEMENT WIDTH     A WAIVER TO ALLOW ANGLED PARKING ON A PRIVATE STREET	PER
	<ul> <li>A WAIVER TO ALLOW THE INTEGRATION OF LOADING SPACES WITHIN THE PROPOSED PARKING CONFIGURATION. T WAS CONDITIONALLY APPROVED TO REQUIRE THE ENFORCEMENT OF OFF-PEAK LOADING WITHIN THE SUBDIVISION RECORDED IN THE RESTRICTIVE COVENANTS OF THE PROPERTY OWNERS ASSOCIATION.</li> </ul>	
	SRB-6-1215-M518 CONDITIONS:	IC
LOCATION AND ROUND BREAKING.	1. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIRI IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICA	
GROUND, ARE DNTRACTOR SHALL ANY DISCREPANCIES	AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY C STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS OR HIGHER STANDARD S 2. APPROVAL OF THIS PRELIMINARY PLAN DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL	APPROVAL BY
	THE TECHNICAL REVIEW COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RE PROJECT FOR CONSTRUCTION. 3. IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICAN	LEASE OF THE OF SHOULD FAIL
	TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE PRELIMINARY PLAN SHALL BE NULL 4. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PRELIMINARY PI SUBMITTED AND APPROVED.	L SHORING VAIL Suite 22 22 22 22
	<ol> <li>UTILITIES SHALL BE LOCATED UNDER THE ASPHALT TO AVOID LANDSCAPING CONFLICTS.</li> <li>AN 8 TO 10-FOOT WIDE PAVED MULTI-USE PATH SHALL BE PROVIDED ALONG THE FRONTAGE OF S. 17TH STREET SIDEWALK IS REQUIRED ALONG THE ENTIRE INDEPENDENCE BOULEVARD FRONTAGE OF THE SUBJECT PROPERT</li> </ol>	
	<ol> <li>REQUIREMENTS OF THE APPROVED TRAFFIC IMPACT ANALYSIS (TIA) MUST BE COMPLETED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.</li> <li>ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.</li> </ol>	H H H H H H H H H H H H H H H H H H H
	9. THE SIGN LOCATED ON THE CORNER OF GALLERY PARK BOULEVARD AND S. 17TH STREET SHALL COMPLY AMER ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) STANDARDS FOR SIGHT DISTANC	$\mathbf{G}^{\text{POID}}$
	SRB-6-1215-M518 WAIVERS:           •         A WAIVER TO ALLOW STREET TYPE ENTRANCES FOR PRIVATE DRIVES. PRIVATE DRIVES ARE EXISTING STREET ENT PEDESTRIAN AND VEHICULAR CONFLICTS HAVE BEEN ADDRESSED.	
	<ul> <li>A WAIVER FROM THE MAXIMUM DRIVEWAY WIDTH. DRIVEWAYS ARE EXISTING AND HAVE BEEN SET UP AS ROADWA MEDIANS. THERE IS CLEAR DIRECTION PROVIDED FOR DRIVES.</li> <li>A WAIVER FROM THE MINIMUM DRIVEWAY OFFSET FROM THE PROPERTY LINE. THE MODIFICATION WOULD RESULT DRIVENCE TO THE DRIVE DRIVE DRIVE DRIVE DRIVE THE DRIVEN AND THE DRIVEN AND THE DRIVE D</li></ul>	
	<ul> <li>DRIVE/ACCESS BEING SPLIT BY A PROPERTY LINE.</li> <li>ALL PREVIOUSLY APPROVED WAIVERS WILL REMAIN ON PLACE, AS APPLICABLE.</li> </ul>	
	CD-7-213 CONDITIONS:	
)	1. THE PROPERTY SHALL BE SUBJECT TO ALL OF THE SPECIFIC REQUIREMENTS STATED IN THE LAND DEVELOPMENT THE PROPOSED USE AS WELL AS ANY ADDITIONAL CONDITIONS STATED BELOW.	i
	<ol> <li>IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICAN TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL FOR THE SITE PLAN FOR THE DISTRICT SHA VOID AND OF NO EFFECT AND PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOU</li> </ol>	
IOLE	CLASSIFICATION. 3. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE MASTER PLAN / EXHIBIT (SEE CD-7-213 ATTACHMENT 3) DATED RECEIVED JULY 31, 2013.	REZONING
	<ol> <li>THE MASTER PLAN (REZONING EXHIBIT) SHALL ESTABLISH NODES AND INTERVENING NON-COMMERCIAL USES. A SHALL WORK WITH STAFF TO INCLUDE THE DESIGNATION OF PUBLIC SPACES AT EACH MAJOR NODE AND ENSUR ADEQUATE PUBLIC SPACE IS PROVIDED AT EACH MAJOR NODE</li> </ol>	True Land
	<ol> <li>HOMEOWNERS / PROPERTY OWNERS (HOA / POA) DOCUMENTS SHALL BE RECORDED FOR ALL PARCELS AND SHA DESIGN AND PLANNING CONCERNS AS OUTLINED IN THE LAND DEVELOPMENT CODE AND THE CD-7-213 CASE SUI 6. ARCHITECTURAL CONSISTENCY AND CONTROLS REGARDING THEME AND PROJECT IDENTITY SHALL BE PROVIDE</li> </ol>	
łOLE	<ol> <li>PRIOR TO SITE PLAN APPROVALS, THE APPLICANT SHALL SUBMIT A MASTER SIGNAGE PLAN THAT COMPLIMENTS CONCEPTUAL PLAN FOR THE DEVELOPMENT. THE APPLICANT SHALL UTILIZE MONUMENT SIGNAGE AND WORK W IN ORDER TO ACHIEVE THE STATED FLUP OBJECTIVES FOR SIGNAGE IN BARCLAY WEST.</li> </ol>	
	<ol> <li>THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL OTHER SUPPLEMENTAL REC REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE OR ANY OTHER APPLICABLE FEDERAL, STATE OR L ORDINANCE OR REGULATION. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER S</li> </ol>	
	SHALL APPLY. 9. ALL DEVELOPMENT WITHIN BARCLAY WEST SHALL COMPLY WITH LAND DEVELOPMENT CODE REQUIREMENTS FO REVIEW AND APPROVAL.	
	<ol> <li>SUBDIVISION REVIEW AND APPROVAL SHALL BE REQUIRED AS DICTATED BY CITY CODE.</li> <li>THE MAXIMUM ALLOWABLE NUMBER OF RESIDENTIAL UNITS IN AREA OF BARCLAY WEST ZONED MF-M (CD) SHALL THE REMAINDER OF THE 1,375 RESIDENTIAL UNITS MAY BE LOCATED IN AREAS OF BARCLAY WEST ZONED RB (CD (20)</li> </ol>	
ANCE	<ul> <li>(CD).</li> <li>12. THE RECREATION AND OPEN SPACE REQUIREMENTS AS DICTATED BY THE LAND DEVELOPMENT CODE FOR MULT SHALL BE MET INDEPENDENTLY AND DISTINCT FROM NON MULTI-FAMILY ZONED AREAS OF BARCLAY WEST.</li> </ul>	
FENCING	<ol> <li>APPROVAL OF THE MASTER CONCEPT PLAN / REZONING EXHIBIT SHALL NOT CONSTITUTE APPROVAL FOR ANY SI OF DEVELOPMENT. DEVELOPMENT PLANS SHALL BE SUBMITTED, REVIEWED, AND APPROVED BY THE TRC.</li> <li>ALL TRC REQUIREMENTS SHALL BE MET.</li> <li>ALL CITY. STATE AND FEDERAL REGULATIONS SHALL BE MET.</li> </ol>	
	16.         THE APPLICANT SHALL COORDINATE INTERNAL TRAFFIC CIRCULATION WITH PROVISIONS OF PUBLIC OPEN SPACE           17.         THE CONNECTOR ROADS AS SHOWN ON THE MASTER PLAN (REZONING EXHIBIT) SHALL PROVIDE INTEGRATED VI	EHICULAR
FENCE	ACCESS FOR TRAFFIC TO DEVELOPMENT PARCELS. THE PURPOSE OF THIS NETWORK OF ROADS SHALL BE TO M TRAFFIC PATTERNS WITHIN THE PROJECT AND ALLEVIATE INCREASED TRAFFIC ON NEARBY MAJOR THOROUGHF 18. A VALID TRAFFIC IMPACT ANALYSIS ("TIA") SHALL BE SUBMITTED TO THE WILMINGTON METROPOLITAN PLANNING ("WMPO") FOR REVIEW BY THE WMPO, THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE CITY	ARES. ORGANIZATION
	WINDO FOR REVIEW BY THE WINDO, THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE CITY WILMINGTON TRAFFIC ENGINEER. UPON CONCLUSION OF THE REVIEW, IMPROVEMENTS REQUIRED BY THE DEVE MITIGATE TRAFFIC IMPACTS OF THE PROPOSED DEVELOPMENT) WILL BE OUTLINED IN A TIA APPROVAL LETTER. DEVELOPER SHALL SUBMIT A SEPARATE PHASING STUDY FOR EACH PHASE OF DEVELOPMENT TO DETERMINE W	ELOPER (TO THE
ERVICE	IMPROVEMENTS IDENTIFIED IN THE TIA APPROVAL LETTER SHALL BE CONSTRUCTED WITH THE DEVELOPMENT PI DEVELOPER REQUIRED IMPROVEMENTS FOR EACH PHASE SHALL BE CONSTRUCTED BY THE DEVELOPMENT PI ISSUANCE OF CERTIFICATES OF OCCUPANCY IN THE RESPECTIVE PHASES OF DEVELOPMENT.	HASE. ALL
D 1-INCH AND OVERLAYED	<ol> <li>ANY NECESSARY ACQUISITION AND / OR DEDICATION OF LAND FOR RIGHTS-OF-WAY FOR DEVELOPER REQUIRED IMPROVEMENTS SHALL BE MADE BY THE OWNERS AND AT THEIR EXPENSE.</li> <li>THE APPLICANT SHALL WORK WITH STAFF TO INSTALL ADEQUATE TRAFFIC-CALMING MEASURES WITHIN THE PRO</li> </ol>	
TSECTION	INTERIOR RIGHTS-OF-WAY WITHIN BARCLAY WEST. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO INS TRAFFIC CALMING DEVICES.	
GUTTER	<ol> <li>THE APPLICANT SHALL WORK WITH THE CAPE FEAR TRANSIT AUTHORITY TO ENSURE THAT BARCLAY WEST OFFE PUBLIC TRANSIT SERVICE.</li> <li>LINEAR STRIP RETAIL AND SERVICE DEVELOPMENT SHALL BE PROHIBITED.</li> <li>THE APPLICANT SHALL INTEGRATE RESIDENTIAL, OFFICE, RETAIL, INSTITUTIONAL AND ENTERTAINMENT USES.</li> </ol>	SN 3A S S S S S S S S S S S S S S S S S S
	<ol> <li>THE APPLICANT SHALL INTEGRATE RESIDENTIAL, OFFICE, RETAIL, INSTITUTIONAL AND ENTERTAINMENT USES.</li> <li>THE APPLICANT SHALL WORK WITH STAFF AND DEMONSTRATE INCREASED PRESERVATION OF TREES IN EXCESS CITY CODE REQUIREMENTS.</li> <li>THE APPLICANT SHALL WORK WITH CITY PLAN REVIEW ENGINEERING STAFF SO AS TO DETERMINE BEST STORM</li> </ol>	
STABILIZATION VARY,	<ol> <li>THE APPLICANT SHALL WORK WITH CITY PLAN REVIEW ENGINEERING STAFF SO AS TO DETERMINE BEST STORMM MANAGEMENT PRACTICES THAT SERVE THE SUBJECT PROPERTY. STORMWATER BMP'S MAY BE USED TO DELINI LAND BAYS SO LONG AS THE BMP IS DESIGNED AS AN AESTHETIC SITE AMENITY.</li> <li>THE APPLICANT SHALL WORK WITH STAFF TO DEMONSTRATE THAT AMPLE OPEN SPACE IS BEING PROVIDED IN T</li> </ol>	
TIME FRAMES	22. THE APPLICANT SHALL WORK WITH STAFF TO DEMONSTRATE THAT AMPLE OPEN SPACE IS BEING PROVIDED IN T WEST DEVELOPMENT RESULTING FROM THE USE OF MULTIPLE STORY DEVELOPMENT AND PARKING DECKS. 27. THE APPLICANT AGREES TO PROVIDE ENVIRONMENTAL RESOURCE DELINEATIONS SO THAT EXISTING NATURAL I IDENTIFIED ON THE SITE. APPLICANT SHALL WORK WITH STAFF TO PRESERVE AND ENHANCE THE EXISTING NATURAL	
TIMEFRAME EXCEPTIONS	AND INTEGRATE THEM INTO THE OPEN SPACE BEING PROVIDED IN THE DEVELOPMENT. 28. AS SHOWN ON THE MASTER PLAN / REZONING EXHIBIT (CD-7-213 ATTACHMENT 3 DATED RECEIVED JULY 31, 2013) POINT DESIGNATED TO CONNECT HANOVER HEIGHTS WITH BARCLAY WEST AT NEWKIRK DRIVE SHALL BE LIMITED	
PES ARE 10' OR LESS IN LENGTH AND ARE	PEDESTRIANS, BICYCLES AND EMERGENCY VEHICLES. FIRE AND LIFE SAFETY NOTES:	ER C BR C
TEEPER THAN 2:1, 14 DAYS ARE ALLOWED S FOR SLOPES GREATER THAN 50' IN LENGTH EXCEPT FOR PERIMETERS AND HOW ZONES	1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING	RARCAS IN O
	CONSTRUCTION.  CONSTRUCTION.  2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB  . HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).  . LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-EOOT CLEAR SPACE S	
NY PHASE OF ACTIVITY. ALL SLOPES MUST CTIVITY. THIS INCLUDES SLOPES, SWALES,	<ol> <li>LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE S BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.</li> <li>PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.</li> </ol>	
E LOCATED 50' FROM STORM DRAINS AND	<ul> <li>WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.</li> <li>6. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.</li> <li>7. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.</li> </ul>	
) STREAMS UNLESS NO REASONABLE	ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY V YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.     CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGE	
NATERS, WETLANDS, OR BUFFERS.	9. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STODY THAT DEMONSTRATES THAT EXISTING EMERGE RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.	
TO A SITE OFFICIER EVENETION OF	Approved Construction Plan	
ESS A SITE-SPECIFIC EXEMPTION IS		PRELIMINARY LAYOUT FINAL DESIGN: RELEASED FOR CONS RELEASED FOR CONS DRAWN: CHECKED: CHECKED:
AREA IS LESS THAN 1 ACRE.	For each open utility cut of Planning	
	City streets, a \$325 permit Traffic	
NCG010000. RMWATER PERMIT NCG010000 ONLY. D NPDES GENERAL STORMWATER PERMIT	City prior to occupancy and/or project acceptance.	Professional Seal redacted on electronic
OF THE PLANS AND THEY ARE NOT A PART HE COUNTY CODE.		copy per City of Wilmington Policy
	WILMINGTON NORTH CAROLINA	
	Public Services   Engineering Division	
	APPROVED STORMWATER MANAGEMENT PLAN	$\sim 2  C-1.0 $
	Date: Permit # Know what's below Call before your content of the conten	budig. $\left  \begin{array}{c} 2 \\ 1 \end{array} \right  \left  \begin{array}{c} -1 \\ 1 \end{array} \right $
	Signed:	PEI JOB#: 18485.PE

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WIT THE NCG01 CONSTRUCTION GENERAL PERMIT Implementing the details and specifications on this plan sheet will result in the constructio activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction				
SECTION E: GROUND STABILIZATION				
Required Ground Stabilization Timeframes				
bilize within this ny calendar Timeframe variations ys after ceasing d disturbance	Site Area Description			
7 None	(a) Perimeter dikes, swales, ditches, and perimeter slopes			
7 None	(b) High Quality Water (HQW) Zones			
7 If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed	(c) Slopes steeper than 3:1			
<ul> <li>-7 days for slopes greater than 50' in length and with slopes steeper than 4:1</li> <li>-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones</li> <li>-10 days for Falls Lake Watershed</li> </ul>	(d) Slopes 3:1 to 4:1			
<ul> <li>-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones</li> <li>14 -10 days for Falls Lake Watershed unless there is zero slope</li> </ul>	(e) Areas with slopes flatter than 4:1			
<b>Note:</b> After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the				
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:         Temporary Stabilization         Permanent Stabilization       Permanent Stabilization         • Temporary grass seed covered with straw or other mulches and tackifiers       • Permanent grass seed covered with straw or other mulches and tackifiers         • Hydroseeding       • Rolled erosion control products with or without temporary grass seed       • Geotextile fabrics such as permanent soil reinforcement matting         • Appropriately applied straw or other mulch       • Hydroseeding       • Strubs or other permanent plantings covered with mulch         • Plastic sheeting       • Structural methods such as concrete, asphalt or retaining walls       • Solled erosion control products with grass seed         • Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.         2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.         3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.         4. Provide ponding area for containment of treated Stormwater before discharging				
<ol> <li>Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.</li> </ol>				
NCG01 GROUND				
PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections				
-7 days for slopes greater than 50' in length and with slopes steeper than -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones         14       -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones         14       -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones         14       -7 days for Falls Lake Watershed un there is zero slope         sation of construction activities, any areas with tempor inverted to permanent ground stabilization as soon as ret than 90 calendar days after the last land disturbing ibilization shall be maintained in a manner to render th ted erosion until permanent ground stabilization is achi         IFICATION       y so that rain will not dislodge the soil. Use one of the ted erosion until permanent grass seed covered with straw or other mulches and tackifiers         with or       • Permanent grass seed covered with straw or other mulches and tackifiers         with or       • Permanent grass seed covered with straw or other mulches and tackifiers         with or       • Permanent grass seed covered with straw or other mulches and tackifiers         • Geotextile fabrics such as permanent soil reinforcement matting       • Hydroseeding         • Structural methods such as concrete, asphal retaining walls       • Rolled erosion control products with grass see         ND FLOCCULANTS       re appropriate for the soils being exposed during room the NC DWR List of Approved PAMS/Flocculants.         re ontainment of treated Stormwater before dischargin accordance with the manufacturer's ins	<ul> <li>(e) Areas with slopes flatter than 4:1</li> <li>Note: After the permanent ground stabilization shall be practicable but in no case activity. Temporary groun surface stable against access activity. Temporary ground sufficit techniques in the table be Temporary Stab</li> <li>Temporary grass seed covident of the techniques in the table be Rolled erosion control prowithout temporary grass seed covident mulches and tackifies. Hydroseeding</li> <li>Rolled erosion control prowithout temporary grass seed covident and the temporary grass seed covident mulches and tackifies. Hydroseeding</li> <li>Rolled erosion control prowithout temporary grass seed covident and the temporary grass seed covident and temporary grass seed covident and the temporary grasseed covide</li></ul>			

Inspect	Frequency (during normal business hours)	Inspection records
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amour If no daily rain gau holiday periods, a available, record th attended days (an needed). Days on "zero." The perm approved by the Di
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol> <li>Identification of</li> <li>Date and time o</li> <li>Name of the per</li> <li>Indication of wh properly,</li> <li>Description of m</li> <li>Description, evic</li> </ol>
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	<ol> <li>Identification of</li> <li>Date and time o</li> <li>Name of the per</li> <li>Evidence of indii sheen, floating o</li> <li>Indication of visi</li> <li>Description, evid</li> </ol>
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol> <li>If visible sedimenta of the following sha</li> <li>Actions taken to the site limits,</li> <li>Description, evid</li> <li>An explanation a releases.</li> </ol>
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	If the stream or wet stream has visible in activity, then a recc 1. Description, evic 2. Records of the re Regional Office y of this permit.
(6) Ground stabilization measures	After each phase of grading	<ol> <li>The phase of grameasures, clearidrainage facilitie activity, construground cover).</li> <li>Documentation measures have b timeframe or an soon as possible</li> </ol>
NOTE: The rair	n inspection reset	s the required 7 o

NDLING PRACTICES FOR COMPLIANCE WITH	EQUIPMENT AND VEHICLE MAINTENANCE	ONSITE CONCRETE WASHOUT
$\underline{\mathbf{T}}$ this plan sheet will result in the construction fround Stabilization and Materials Handling ermit (Sections E and F, respectively). The ediment Control plan approved by the rails and specifications shown on this sheet	<ol> <li>Maintain vehicles and equipment to prevent discharge of fluids.</li> <li>Provide drip pans under any stored equipment.</li> <li>Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.</li> <li>Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).</li> </ol>	STRUCTURE WITH LINER
nd the delegated authority having jurisdiction.	5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.	CONCRETE LOUID AND VIEW THE LOUID AND/OR SOLD REACHES SAUL BE MINTANED WHEN THE LOUID AND/OR SOLD REACHES 75% OF THE STRUCTURES SAUL BE
bilization Timeframes	6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.	7% OF THE STRUCTURES CAPACITY. MI PLAN 3_CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARY MARKED WITH SIGNARE HOTING DEVICE. PLAN 33 CLEARY MARKED WITH SIGNARE HOTING DEVICE. TG
is	to a recycling of disposal center that handles these materials.	NC
Timeframe variations	LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE           1.         Never bury or burn waste. Place litter and debris in approved waste containers.	BELOW GRADE WASHOUT STRUCTURE ABOVE GRADE WASHOUT STR
None	2. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.	CONCRETE WASHOUTS1. Do not discharge concrete or cement slurry from the site.
None	<ol> <li>Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.</li> <li>Locate waste containers on areas that do not receive substantial amounts of runoff</li> </ol>	<ol> <li>Dispose of, or recycle settled, hardened concrete residue in accorda and state solid waste regulations and at an approved facility.</li> <li>Manage washout from mortar mixers in accordance with the above</li> </ol>
If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in	<ol> <li>from upland areas and does not drain directly to a storm drain, stream or wetland.</li> <li>Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.</li> <li>Anchor all lightweight items in waste containers during times of high winds.</li> </ol>	<ul> <li>addition place the mixer and associated materials on impervious bar lot perimeter silt fence.</li> <li>4. Install temporary concrete washouts per local requirements, where alternate method or product is to be used, contact your approval au</li> </ul>
length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW	<ol> <li>Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.</li> <li>Dispose waste off-site at an approved disposal facility.</li> </ol>	<ul> <li>review and approval. If local standard details are not available, use of types of temporary concrete washouts provided on this detail.</li> <li>5. Do not use concrete washouts for dewatering or storing defective cultures.</li> </ul>
Zones -10 days for Falls Lake Watershed	9. On business days, clean up and dispose of waste in designated waste containers.	sections. Stormwater accumulated within the washout may not be p discharged to the storm drain system or receiving surface waters. Li
<ul> <li>-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones</li> <li>-10 days for Falls Lake Watershed unless there is zero slope</li> </ul>	<ul> <li>PAINT AND OTHER LIQUID WASTE</li> <li>1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.</li> <li>2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.</li> </ul>	<ul> <li>be pumped out and removed from project.</li> <li>6. Locate washouts at least 50 feet from storm drain inlets and surface can be shown that no other alternatives are reasonably available. A install protection of storm drain inlet(s) closest to the washout which spills or overflow.</li> </ul>
ruction activities, any areas with temporary manent ground stabilization as soon as Idar days after the last land disturbing be maintained in a manner to render the	<ol> <li>Contain liquid wastes in a controlled area.</li> <li>Containment must be labeled, sized and placed appropriately for the needs of site.</li> <li>Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.</li> </ol>	<ol> <li>Locate washouts in an easily accessible area, on level ground and insentrance pad in front of the washout. Additional controls may be reapproving authority.</li> <li>Install at least one sign directing concrete trucks to the washout with</li> </ol>
il permanent ground stabilization is achieved.		limits. Post signage on the washout itself to identify this location.
ill not dislodge the soil. Use one of the	PORTABLE TOILETS         1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place	<ol> <li>Remove leavings from the washout when at approximately 75% capa overflow events. Replace the tarp, sand bags or other temporary structure components when no longer functional. When utilizing alternative of products, follow manufacturer's instructions.</li> </ol>
Permanent Stabilization Permanent grass seed covered with straw or other mulches and tackifiers	<ul><li>on a gravel pad and surround with sand bags.</li><li>Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.</li></ul>	<ol> <li>At the completion of the concrete work, remove remaining leavings in an approved disposal facility. Fill pit, if applicable, and stabilize ar caused by removal of washout.</li> </ol>
<ul> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> </ul>	<ol> <li>Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.</li> </ol>	
<ul> <li>Shrubs or other permanent plantings covered with mulch</li> </ul>		HERBICIDES, PESTICIDES AND RODENTICIDES
Uniform and evenly distributed ground cover	EARTHEN STOCKPILE MANAGEMENT	<ol> <li>Store and apply herbicides, pesticides and rodenticides in accordanc restrictions.</li> </ol>
sufficient to restrain erosion 9 Structural methods such as concrete, asphalt or retaining walls 9 Rolled erosion control products with grass seed	<ol> <li>Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.</li> </ol>	<ol> <li>Store herbicides, pesticides and rodenticides in their original contain label, which lists directions for use, ingredients and first aid steps in a accidental poisoning.</li> </ol>
ITS or the soils being exposed during	<ol> <li>Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.</li> <li>Provide stable stone access point when feasible.</li> </ol>	<ol> <li>Do not store herbicides, pesticides and rodenticides in areas where f possible or where they may spill or leak into wells, stormwater drain or surface water. If a spill occurs, clean area immediately.</li> </ol>
R List of Approved PAMS/Flocculants.	4. Stabilize stockpile within the timeframes provided on this sheet and in accordance	4. Do not stockpile these materials onsite.
to Erosion and Sediment Control Measures. specified in the NC DWR List of Approved	with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated	
th the manufacturer's instructions.	erosion on disturbed soils for temporary or permanent control needs.	HAZARDOUS AND TOXIC WASTE 1. Create designated hazardous waste collection areas on-site.
f treated Stormwater before discharging		<ol> <li>Create designated hazardous waste containers under cover or in secondary containers.</li> <li>Place bazardous waste containers under cover or in secondary containers.</li> </ol>

Place hazardous waste containers under cover or in secondary contain 3. Do not store hazardous chemicals, drums or bagged materials directly

**ICG01 GROUND STABILIZATION AND MATERIALS HANDLING** 

IG AND REPORTING	PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		
s hours in accordance with the table	SECTION B: RECORDKEEPING		
vould cause the safety of the inspection delayed until the next business day on on, when a storm event of equal to or ness hours, the self-inspection shall be usiness day. Any time when inspections rd.	approved E&SC plan must be kept up-to-o	pproved deviation shall be kept on the site. The date throughout the coverage under this permit. C plan shall be documented in the manner	
	Item to Document	Documentation Requirements	
nust include:	(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each	
ts. ge observations are made during weekend or nd no individual-day rainfall information is e cumulative rain measurement for those un- d this will determine if a site inspection is which no rainfall occurred shall be recorded as ttee may use another rain-monitoring device	shown on the approved E&SC Plan.	E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.	
ision. the measures inspected, the inspection, son performing the inspection, ether the measures were operating	(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.	
aintenance needs for the measure, ence, and date of corrective actions taken. the discharge outfalls inspected, the inspection,	(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.	
son performing the inspection, ators of stormwater pollution such as oil r suspended solids or discoloration, ble sediment leaving the site,	(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.	
ence, and date of corrective actions taken. cion is found outside site limits, then a record II be made: clean up or stabilize the sediment that has left	(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.	
ence, and date of corrective actions taken, and s to the actions taken to control future	2. Additional Documentation		
land has increased visible sedimentation or a acceased turbidity from the construction rd of the following shall be made: ence and date of corrective actions taken, and equired reports to the appropriate Division ere Part III, Section C, Item (2)(a) of this permit	In addition to the E&SC Plan documents a site and available for agency inspectors at all	bove, the following items shall be kept on the times during normal business hours, unless the n based on unique site conditions that make this	
ding (installation of perimeter E&SC ng and grubbing, installation of storm s, completion of all land-disturbing	(a) This general permit as well as the certificate of coverage, after it is received.		
tion or redevelopment, permanent hat the required ground stabilization een provided within the required assurance that they will be provided as	the required observations on the Ins a similar inspection form that include electronically-available records in lieu	u of the required paper copies will be allowed if	
alendar day inspection requirement.	<ul> <li>shown to provide equal access and utility as the hard-copy records.</li> <li>(c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]</li> </ul>		

### PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

# SECTION C: REPORTING

# 1. Occurrences that must be reported

### Permittees shall report the following occurrences:

# (a) Visible sediment deposition in a stream or wetland.

# (b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hour • They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).
- (a) Releases of hazardous substances in excess of reportable quantities under of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 1 (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (b) Anticipated bypasses and unanticipated bypasses.
- (c) Noncompliance with the conditions of this permit that may endanger he environment.

## 2. Reporting Timeframes and Other Requirements

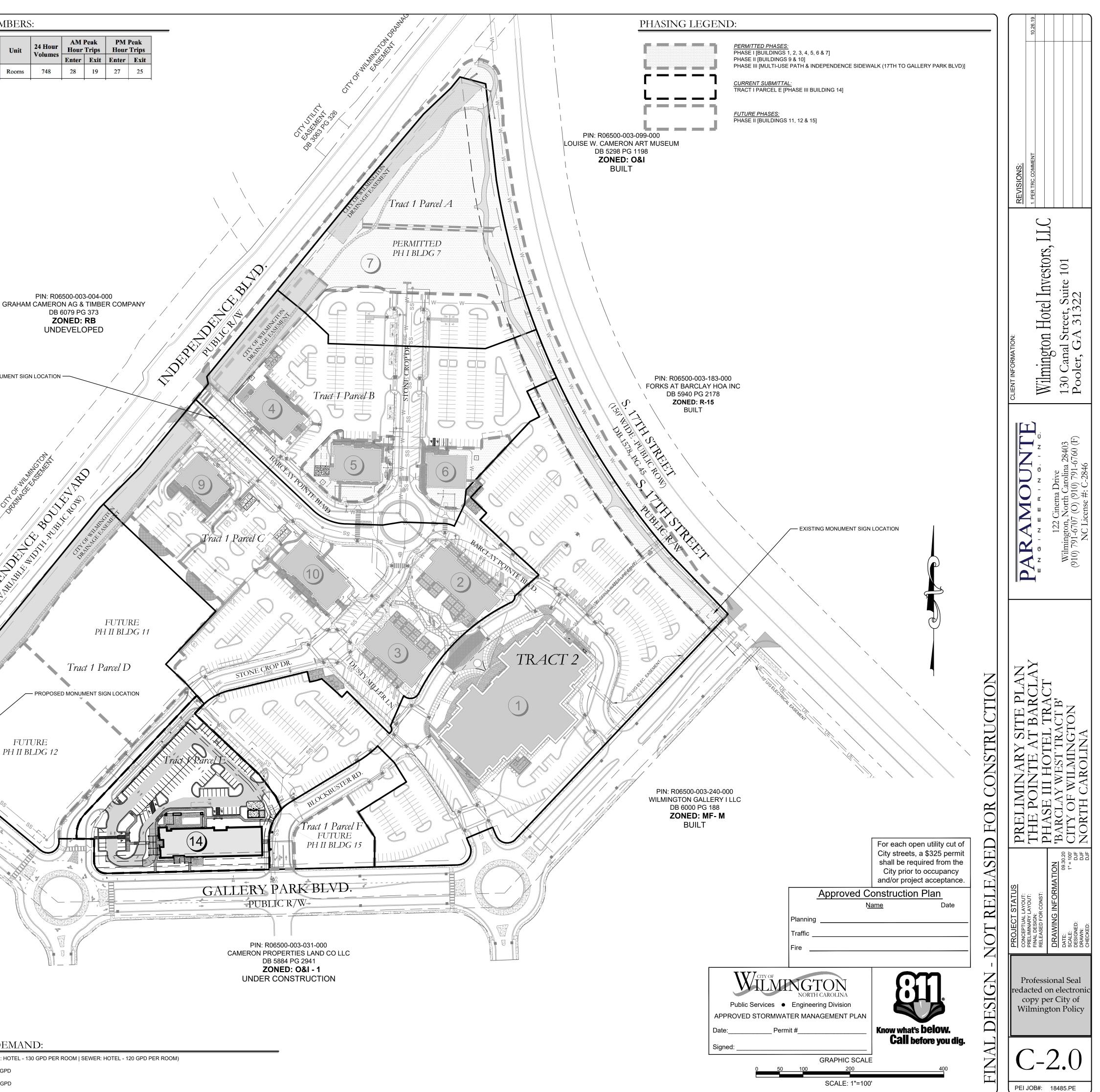
After a permittee becomes aware of an occurrence that must be reported, h the appropriate Division regional office within the timeframes and in accord other requirements listed below. Occurrences outside normal business hou reported to the Division's Emergency Response personnel at (800) 662-7956 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requireme
(a) Visible sediment deposition in a stream or wetland	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description sediment and actions taken to address the cause of the deport Division staff may waive the requirement for a written report case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for strelated causes, the permittee may be required to perform a monitoring, inspections or apply more stringent practices if stretemine that additional requirements are needed to assure with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul> <li>Within 24 hours, an oral or electronic notification. The notif shall include information about the date, time, nature, volun location of the spill or release.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul> <li>A report at least ten days before the date of the bypass, if p The report shall include an evaluation of the anticipated qua effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that includes an evaluation quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(1)(7)]	<ul> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description noncompliance, and its causes; the period of noncompliance including exact dates and times, and if the noncompliance has been corrected, the anticipated time noncompliance is expecontinue; and steps taken or planned to reduce, eliminate, a prevent reoccurrence of the noncompliance. [40 CFR 122.41</li> <li>Division staff may waive the requirement for a written report case-by-case basis.</li> </ul>

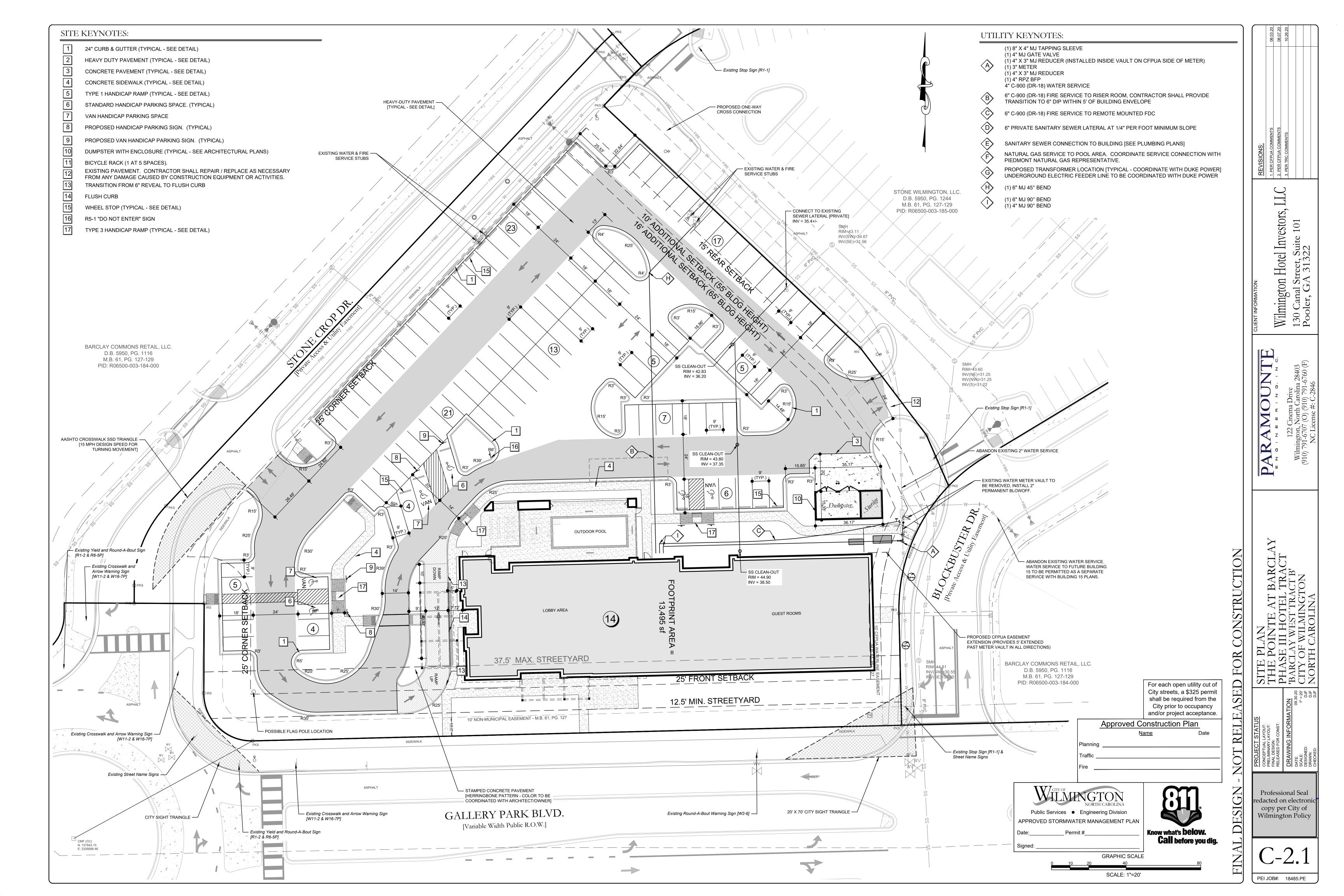
# NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

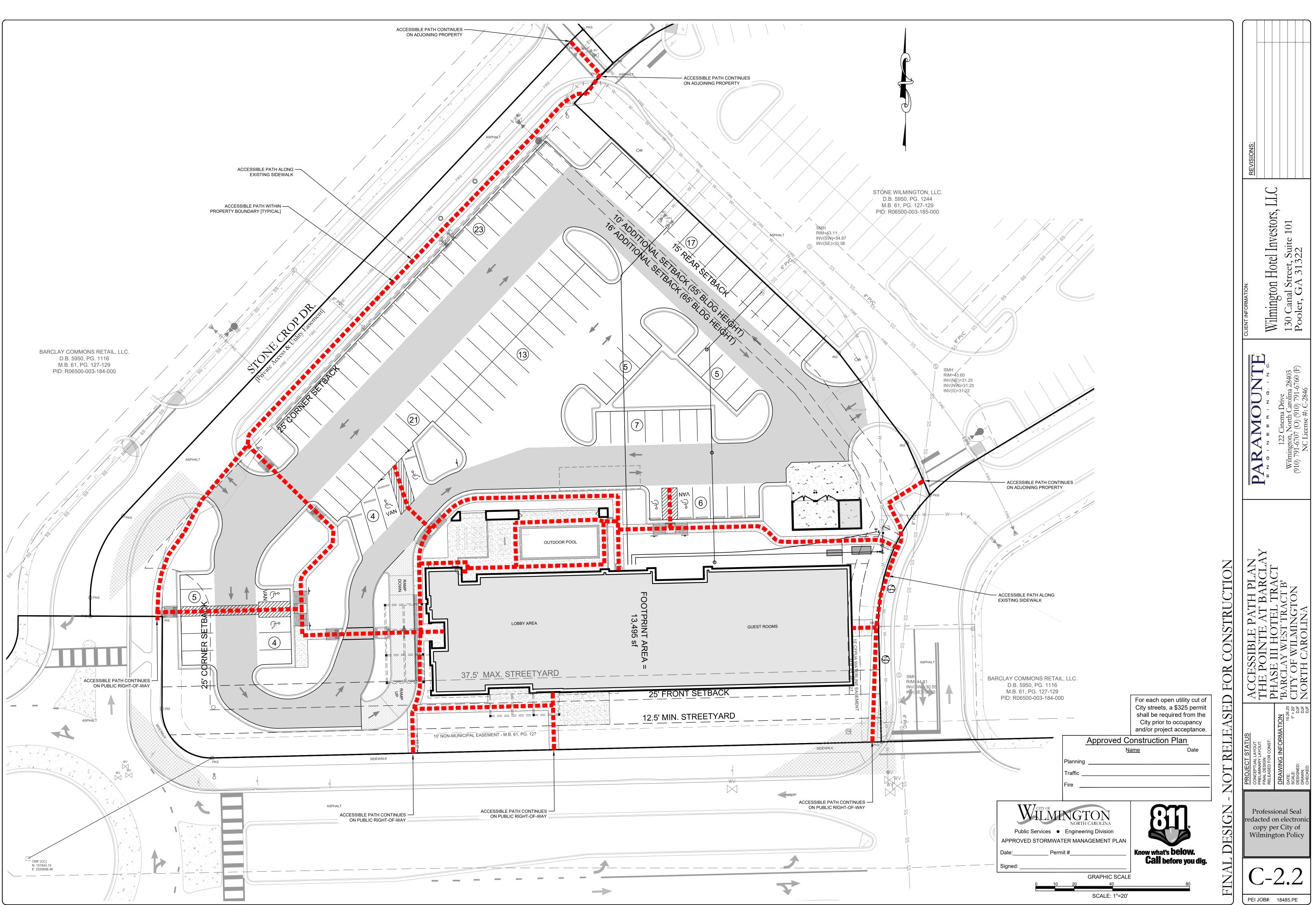
slurry from the site. Id concrete residue in accordance with local at an approved facility. in accordance with the above item and in id materials on impervious barrier and within her local requirements, where applicable. If an used, contact your approval authority for details are not available, use one of the two is provided on this detail. vatering or storing defective curb or sidewalk thin the washout may not be pumped into or or receiving surface waters. Liquid waste must oject. storm drain inlets and surface waters unless it es are reasonably available. At a minimum, s) closest to the washout which could receive e area, on level ground and install a stone Additional controls may be required by the ete trucks to the washout within the project self to identify this location. hen at approximately 75% capacity to limit hd bags or other temporary structural al. When utilizing alternative or proprietary retions. rk, remove remaining leavings and dispose of t, if applicable, and stabilize any disturbance <b>S</b> and rodenticides in accordance with label ticides in their original containers with the redients and first aid steps in case of I rodenticides in areas where flooding is k into wells, stormwater drains, ground water n area immediately.		TE     CLENT INFORMATION:       n c.     CLENT INFORMATION:       n C.     CLENT INFORMATION:       N     Wilmington Hotel Investors, LLC       130 Canal Street, Suite 101       0(F)     Pooler, GA 31322
n area immediately. e. election areas on-site. er cover or in secondary containment. ms or bagged materials directly on the ground. EFFECTIVE: 04/01/19 EFFECTIVE: 04/01/19		PARAMOUNTE N G I N E E R I N G. I N C I N C I N C I N C License #: C-2846
nces: or wetland.		
ot be cleaned up within 24 hours, egardless of volume), or ters (regardless of volume). ess of reportable quantities under Section 311 3 and 40 CFR 117.3) or Section 102 of CERCLA	NOITC	ARCLAY TRACT TB' DN
bypasses.	SUC	T B B G T C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C T D C D C
is permit that may endanger health or the	STR	E A AIN(E A LIN
ents rrence that must be reported, he shall contact n the timeframes and in accordance with the es outside normal business hours may also be se personnel at (800) 662-7956, (800)	FOR CONST	PDES NOT HE POINTH LASE III HC RCLAY WES IY OF WILM ORTH CARO
er Discovery) and Other Requirements or electronic notification. a report that contains a description of the ken to address the cause of the deposition. the requirement for a written report on a n the <u>NC 303(d) list</u> as impaired for sediment- nittee may be required to perform additional	ASED I	ATION AS NOTED DUF DUF DUF DUF DUF DUF DUF DU
or apply more stringent practices if staff al requirements are needed to assure compliance impaired-waters conditions. or electronic notification. The notification n about the date, time, nature, volume and elease.	Approved Construction Plan	PROJECT STATUS CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: FINAL DESIGN: RELEASED FOR CONST: DRAWING INFORMAT DATE: SCALE: DATE: SCALE: DATE: SCALE: DATE: SCALE: DATE: CHECKED:
ys before the date of the bypass, if possible. an evaluation of the anticipated quality and	Name Date	PROJEC CONCEPTUJ PRELIMINAF FINAL DESIC RELEASED I DRAWIN DATE: SCALE: DATE: SCALE: DATE: CHECKED: CHECKED:
or electronic notification. a report that includes an evaluation of the bypass.	For each open utility cut of       Planning       ////////////////////////////////////	
or electronic notification. a report that contains a description of the causes; the period of noncompliance,	City prior to occupancy and/or project acceptance.	Professional Seal redacted on electronic
d times, and if the noncompliance has not cipated time noncompliance is expected to en or planned to reduce, eliminate, and the noncompliance. [40 CFR 122.41(I)(6). the requirement for a written report on a	WILMINGTON       NORTH CAROLINA         Public Services       Engineering Division         APPROVED STORMWATER MANAGEMENT PLAN       Image: Comparison of the store of t	copy per City of Wilmington Policy
	Date:         Permit #         Know what's below.         Z	C-1.1
EFFECTIVE: 04/01/19	Signed: Call before you dig.	PEI JOB#: 18485.PE

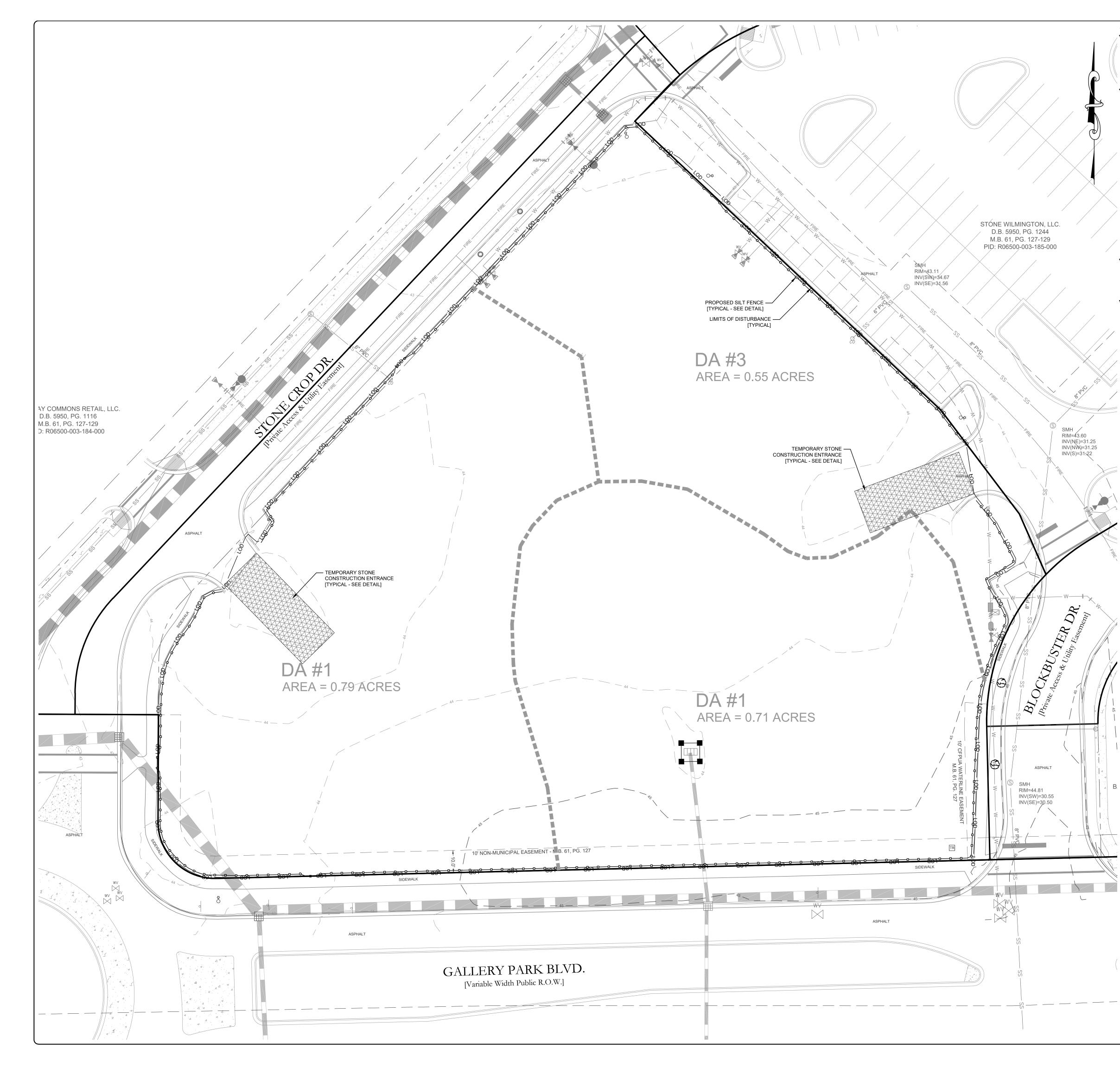
		D TRIP GENERATION NUMBI
		Land Use ITE Code Size U
PARKWAY BLVD HILLANDALE DR		Hotel (Lot 13/14) 310 104 Roc
PARKWAY BLVD		
	MISEUM DR	
SI SI		
$X > / \sim$		
SX =	NUR NU	
CARR	GEORGE MURCHING THE OFFICE	
	GEREE CHIDALANDA	
CH RE		
V		GRA
	SCALE: 1' = 1000'	
SITE INFORMATION:	R06500-003-247-000	_
CURRENT ZONING: PROPOSED USE:	RB (CD) MIXED USE	
SITE AREA: OWNER INFORMATION:	2.293 ACRES [TRACT 1 PARCEL E] [TRACT 1 = 24.869 Ac / TRACT 2 = 10.124 Ac] WILMINGTON HOTEL INVESTORS, LLC	EXISTING MONUMEN
FLOOD INFORMATION:	130 CANAL STREET, SUITE 101 POOLER, GA 31322 THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD	
CAMA LAND USE CLASSIFICATION: EASEMENTS:	AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312500J,DATED APRIL 3, 2006 URBAN MB 51 PG 9-13 / MB 51 PG 261 / MB 25 PG 149 / MB 61 PG 127-129	
TOTAL IMPERVIOUS AREA (INCLUDES TRACT 1		
EXISTING: EXISTING TO BE REMOVED:	821,548 SF (PH I&II [1-6,7,9-10]) 10,120 SF (559) SF (559) SF	
BUILDING: PAVEMENT: SIDEWALKS:	13,480     SF     13,480     SF       46,746     SF     46,746     SF       6,291     SF     6,291     SF	
FUTURE (TRACT 1 PARCEL E): FUTURE (REMAINING IMPERVIOUS): TOTAL	222         SF         222         SF           196,763         SF         0         SF           1,084,491         SF         76,300         SF	
ZONING ACREAGE: DISTURBED AREA:	RB (CD): 2.293 AC 2.0 ACRES	
ESTIMATED TRIP GENERATION:	AM PEAK HOUR = 64   PM PEAK HOUR = 65	, St
MOU (DATED 5/19/15)	CONDITIONAL DISTRICT (CD-7-213), SRB APPROVALS (SRB-6-1215 & SRB 6-1215-M518), AND	
- TRACT 1 PARCEL E BUILDING SF: TOTAL	(ALL FLOORS) = 54 730 SE	- ////
1st = 13,480 SF   2nd = 13,750 SF   3rd 4 STORY (45'-6" Flat Roof   58'-4" Top TYPE VA - SPRINKLED	d = 13,750 SF   4th = 13,750 SF	
- PERMITTED BUILDINGS: TRACT 1 BUILDINGS:	± 130,393 GFA / ± 138,166 SF ± 75,893 GFA / ± 82,535 SF	Di Anti
TRACT 2 BUILDINGS:	± 54,500 GFA / ± 55,631 SF	
- TOTAL BUILDING COVERAGE: TRACT 1 BUILDING COVERAGE: TRACT 1 PARCEL E COVERAGE:	(13,480 SF + 138,166 SF) / 34.993 AC = 9.9% COVERAGE (13,480 SF + 82,535 SF) / 24.869 AC = 8.9% COVERAGE (13,480 SF) / 2.293 AC = 13.5% COVERAGE	
tract 2 building coverage: DIMENSIONAL REQUIRE	(55,631 SF) / 10.124 AC = 12.6% COVERAGE MENTS:	
RB - REGIONAL BUSINESS - MINIMUM LOT AREA:	1 ACRE	
<ul> <li>MINIMUM LOT WIDTH:</li> <li>MAXIMUM LOT COVERAGE:</li> </ul>	100' 40%	
<ul> <li>MINIMUM REAR SETBACK:</li> <li>MINIMUM INTERIOR SIDE SETBACK:</li> </ul>	0' (RB-CD) [PER MOU DATED 5/19/15] 15' 0' 25'	
<ul> <li>MINIMUM CORNER LOT SIDE SETBACK:</li> <li>MAXIMUM BUILDING HEIGHT:</li> </ul>	25' 35'	
SETBACKS: - CORNER (STONE CROP): - FRONT (GALLERY PARK):	REQUIRED         PROVIDED           25'         105' +/-           25'         30' +/-	
- INTERIOR SIDE: - REAR:	*0' 13.5' +/- *15' 54' +/- FOR BUILDING HEIGHTS: ADDITIONAL 10' FOR MAIN BUILDING, 16' FOR BEACON	PH
	DES TRACT 1 & TRACT 2 SPACES]:	
BUILDING 1,2,3,4,5,6,7,9 & 10 MIN. PARKING REC BUILDING 1,2,3,4,5,6,7,9 & 10 MAX. PARKING RE TOTAL PARKING PROVIDED:		
TRACT 1 PARCEL E [PHASE II - BUILDING		
TOTAL PARKING REQUIRED: MIN. REQUIRED:	HOTEL: 1 SPACE PER GUEST ROOM + 50% ACCESSORY USES MEETING ROOM: 1 SPACE PER 4 SEATS	
	HOTEL: 104 GUEST ROOMS = 104 MEETING ROOM (50%): (20 SEATS/4)/2 = 3	
MAX. ALLOWED:	TOTAL = 107 (MINIMUM) 150% OF MINIMUM REQUIRED	PIN: R06500-003-031-000 RON PROPERTIES LAND CO LLC
	TOTAL = 160 (MAXIMUM)	DB 5884 PG 2941 ZONED: O&I - 1
PROVIDED PARKING: TRACT 1 PARCEL E:	110 SPACES	UNDEVELOPED
TOTAL TRACT 1 PARCEL E HANDICAP S TOTAL TRACT 1 PARCEL E HANDICAP S		
TOTAL TRACT 1 PARCEL E BIKE PARKIN TOTAL TRACT 1 PARCEL E BIKE PARKIN	G REQUIRED: 10 SPACES PER CITY ORDINANCE SECTION 18-528F	
TOTAL PARKING SUMMARY:		
MIN. REQUIRED PARKING: MAX. ALLOWED PARKING:	107 SPACES TOTAL 160 SPACES TOTAL	
	110 SPACES TOTAL* SHARED PARKING SPACES: 3 SPACES TOTAL BETWEEN MIXED USE DEVELOPMENT/TENANTS JUSTIFIES A PROVIDED PARKING COUNT	
GREATER THAN THE MAX. CITY	REQUIRED DUE TO OTHER BUILDING/PARCEL CALCULATIONS HAVING LESS THAN THE MININ	IUM.
THE POINTE AT BARCLAY TOTAL P TOTAL MIN. REQUIRED PARKING: TOTAL MAX. REQUIRED PARKING:	1,259 SPACES TOTAL 1,429 SPACES TOTAL	
TOTAL PROVIDED PARKING:	1,168 SPACES TOTAL* BETWEEN MIXED USE TENANTS JUSTIFIES A PROVIDED PARKING COUNT	WATER & SEWER DEM WATER & SEWER DEMAND: (WATER: HOTE
		PROJECTED WATER FLOW = 13,520 GPD



PROJECTED SEWER FLOW = 12,480 GPD







# EROSION CONTROL NOTES:

LIMITS OF DISTURBANCE = 2.1 ACRES\*

\*ALL OF THE LIMITS OF DISTURBANCE / LIMITS OF CONTRACT IS WITHIN THE OVERALL LIMITS OF DISTURBANCE PREVIOUSLY APPROVED UNDER PERMIT GP #20-14.

# NOTES:

- 1.) SEE GENERAL NOTES SHEET (C-1.0) FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS FO INFORMATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY ST SPECIFICATIONS.
- 3.) GEOTECHNICAL TESTING HAS BEEN PERFORMED ON-SITE BY ECS CAROLINAS, LLP (REFER TO REPORT). A GEOT ENGINEER SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTIO 4.) IT IS POSSIBLE THAT CONSTRUCTION OF OTHER PHASES MAY BE ONGOING AT THE TIME OF CONSTRUCTION, C SHALL COORDINATE WITH OWNER / OWNER'S REPRESENTATIVE SCHEDULE AND CONSTRUCTION ACTIVITIES TO
- DELAYS OR INTERFERENCE WITH ANY OTHER CONTRACTORS OR SUBCONTRACTORS. PER HANOVER DESIGN SERVICES, P.A. SURVEY AND PLANS DATED 04.21.15 LAST REVISED 06.09.15, "404 WETLAN EXIST ON SITE PER U.S. CORPS OF ENGINEERS DETERMINATION. SEE ACTION SAW-2012-01938."
- 6.) THE EXISTING IMPROVEMENTS AS SHOWN HAVE BEEN TAKEN FROM A COMBINATION OF DESIGN DOCUMENTS AN SURVEY. ALL GRADE TIE-INS, ROAD CONNECTIONS, AND UTILITY CONNECTIONS SHALL BE FIELD VERIFIED TO CO THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS AS DEPICTED. CONTRACTOR SHALL CONTACT THE ENGINEER WITH ANY DISCREPANCIES..

7.) SEE GRADING & DRAINAGE PLANS (C-4.0).

# ASPHALT AREA NOTE:

1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERAT PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNIC EXPLORATION AND TECHNICAL SPECIFICATIONS.

# BUILDING PAD NOTE:

1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERA PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECH EXPLORATION AND TECHNICAL SPECIFICATIONS.

ALL LIMITS OF TROL NOTES AND DETAILS FOR MORE ND NEW HANOVER COUNTY STANDARD P (REFER TO REPORT). A GEOTECHNIC RIAL AND PROPER COMPACTION IN FILL E TIME OF CONSTRUCTION, CONTRAC CONSTRUCTION ACTIVITIES TO MINIMIZ DRS. REVISED 06.09.15, "404 WETLANDS DO N V-2012-01938." ON OF DESIGN DOCUMENTS AND FIELD SHALL BE FIELD VERIFIED TO CONFIRM SHALL BE FIELD VERIFIED TO CONFIRM	AREAS. TOR E IOT THAT	REVISIONS:
RACTOR SHALL CONTACT THE OWNER ND PROVIDE CUT/FILL OPERATIONS T E SUBSURFACE GEOTECHNICAL ND PROVIDE CUT/FILL OPERATIONS T THE SUBSURFACE GEOTECHNICAL	0	clent inFormation: Wilmington Hotel Investors, LLC 130 Canal Street, Suite 101 Pooler, GA 31322
		PARAMOUNTE         E N G I N E E R I N G. I Stense #: C-2846
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance. Onstruction Plan ame Date	OT RELEASED FOR CONSTRUCTION	PROJECT STATUS       FROJECT STATUS         PROJECT STATUS       EROSION CONTROL - PHASE I         conceptual Layout:       THE POINTE AT BARCLAY         pellaminary Layout:       THE POINTE AT BARCLAY         pellaminary Layout:       PHASE III HOTEL TRACT         pellaminary Layout:       PHASE III HOTEL TRACT         perlaminary Layout:

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		shall be required from the City prior to occupancy and/or project acceptance.	EASH
	Approved Co	onstruction Plan	Ĩ
	<u>Na</u>	ame Date	<u> </u>
	Planning		
	Traffic		
	<b>-</b> :		$\mathbf{i}$
• WAT	NORTH CAROLINA Engineering Division TER MANAGEMENT PLAN	Know what's below. Call before you dig.	AL DESIGN
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	SCALE: 1"=20'		۲ <u>ـ</u>

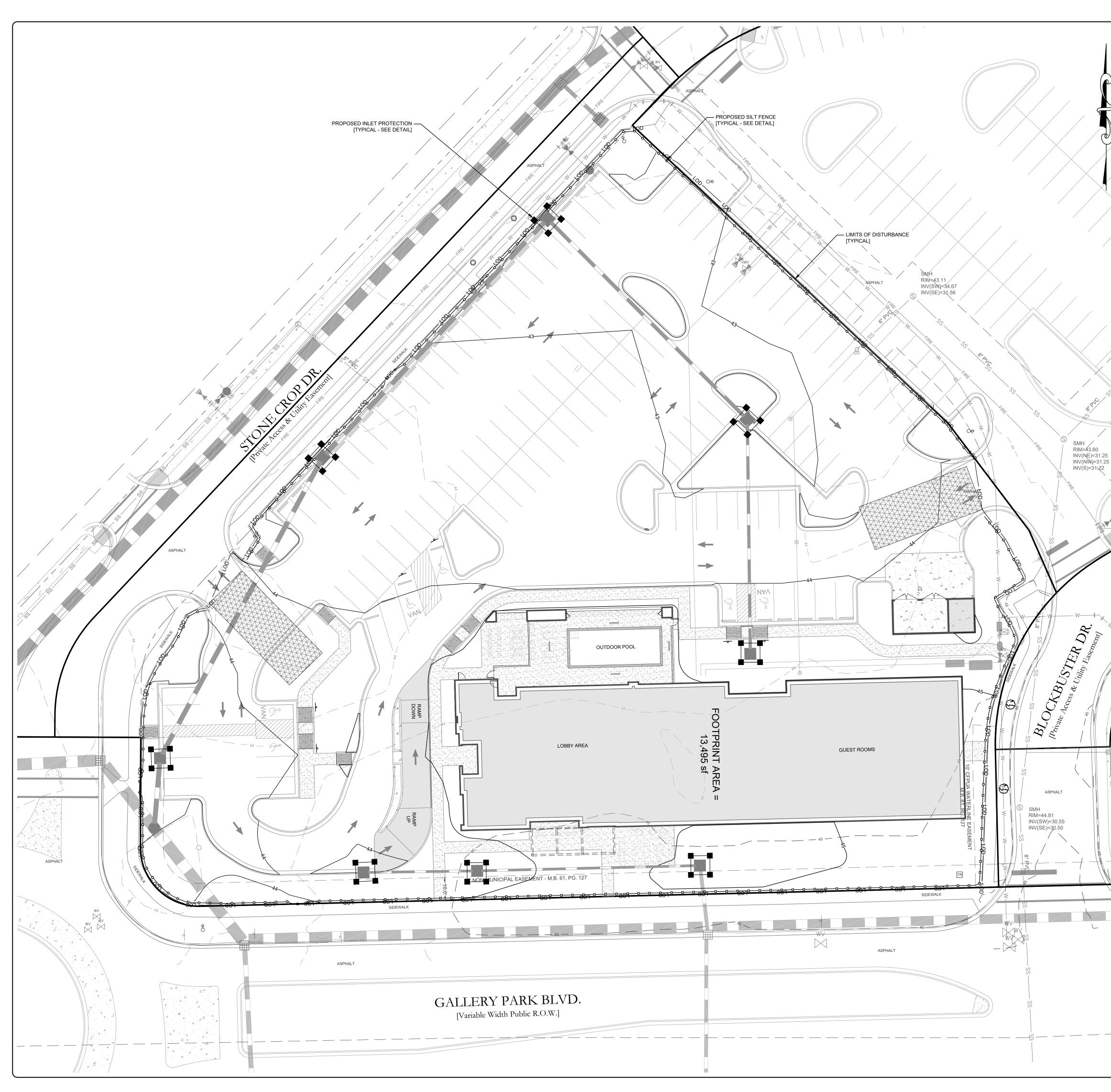
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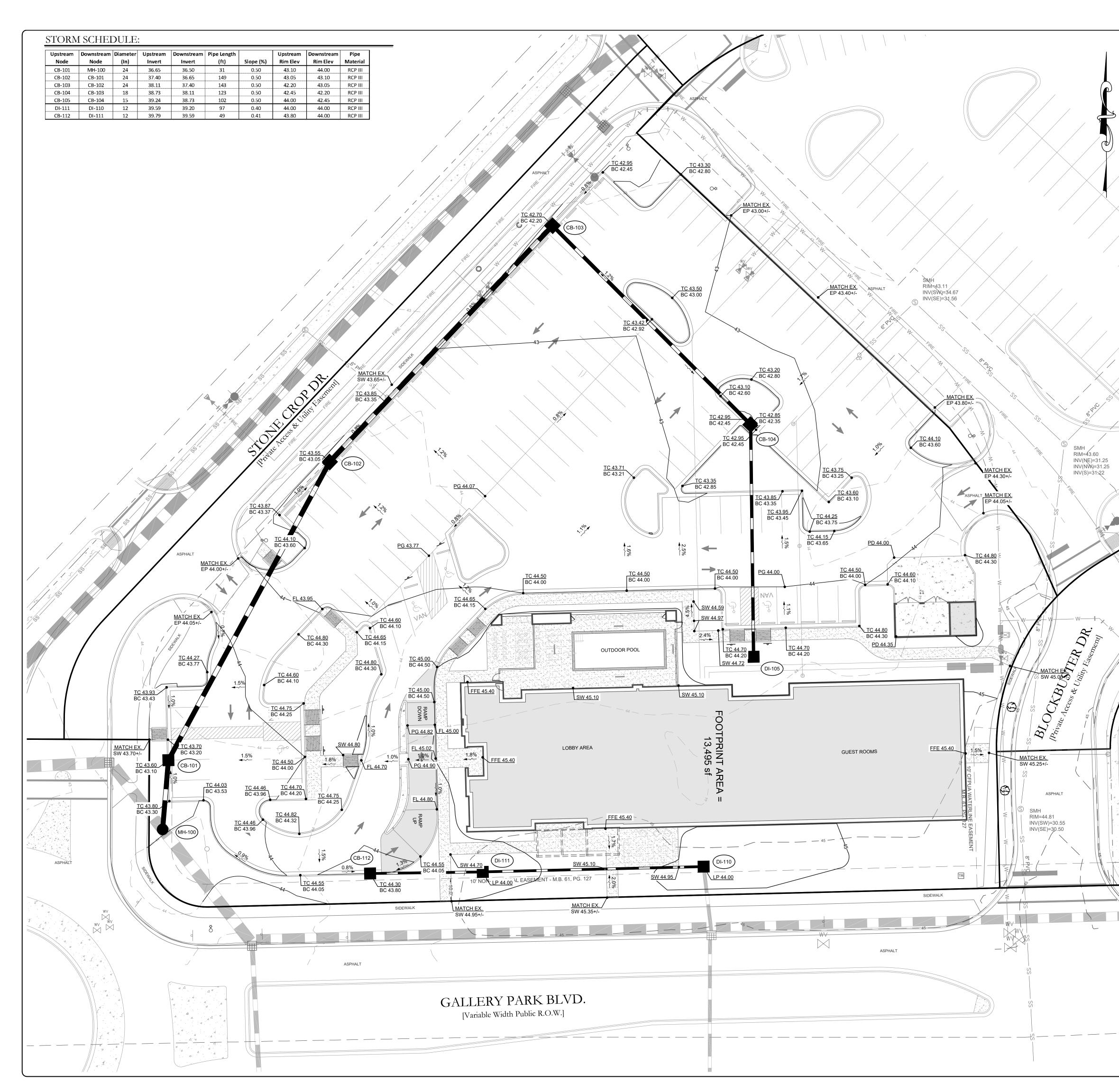
Public Services

APPROVED STORM

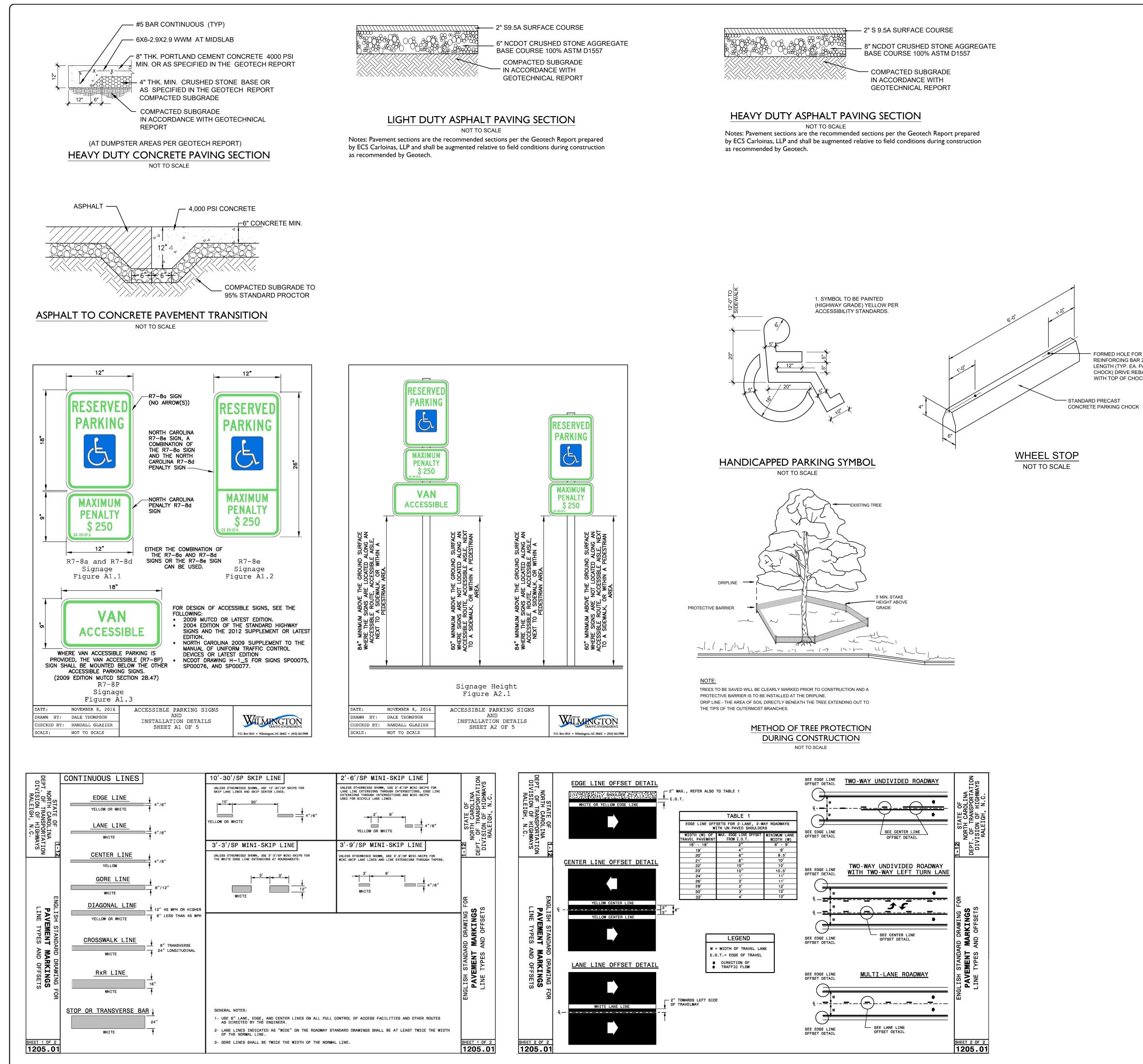
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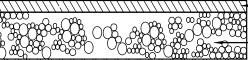


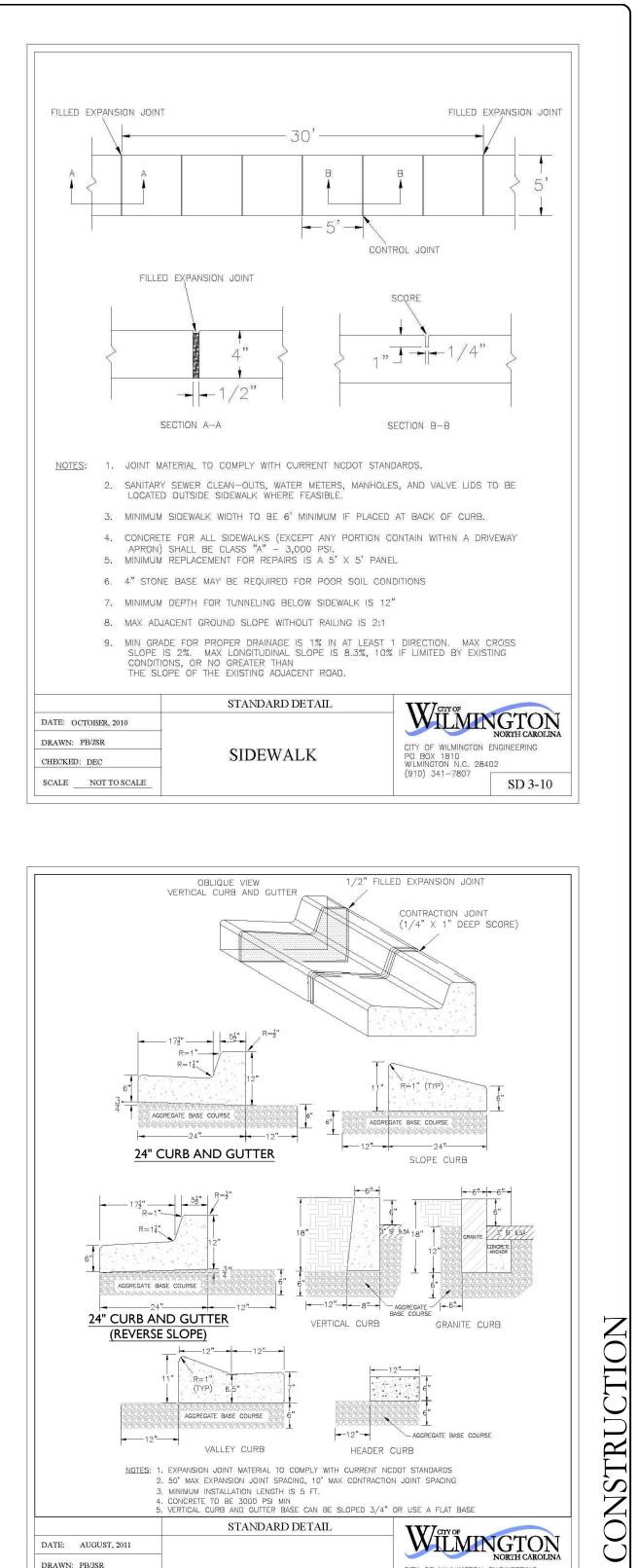
		CLIENT INFORMATION:       REVISIONS:         Collimitingtion Hotel Investors, LLC       REVISIONS:         130 Canal Street, Suite 101       101         Pooler, GA 31322       Pooler
		PARAMOUNTE       PARAMOUNTE         E N G N E E R N G. N. C. N. C.       M.         Milmington, North Carolina 28403       130         (910) 791-6707 (O) (910) 791-6760 (F)       PC         NC License #: C-2846       PC
For each open utility cut of         City streets, a \$325 permit         shall be required from the         City prior to occupancy         and/or project acceptance.         Approved Construction Plan         Name       Date         Planning	I - NOT RELEASED FOR CONSTRUCTION	PROJECT STATUSPROJECT STATUSCNCEPTUAL LAYOUT: TONE TRAUTISTINAL LAYOUT: FRELIMINAR LAYOUT: FRELI
With of the conduction of the conduct	FINAL DESIGN	Professional Seal redacted on electronic copy per City of Wilmington Policy <b>C-3.1</b> PEI JOB#: 18485.PE



	NOTES:			
	<ol> <li>SEE GENERAL NOTES SHEET (C-1.0) FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS FOR MORE INFORMATION.</li> <li>ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.</li> <li>GEOTECHNICAL TESTING HAS BEEN PERFORMED ON-SITE BY ECS CAROLINAS, LLP (REFER TO REPORT). A GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION IN FILL AREAS</li> <li>IT IS POSSIBLE THAT CONSTRUCTION OF OTHER PHASES MAY BE ONGOING AT THE TIME OF CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH OWNER', OWNER'S REPRESENTATIVE SCHEDULE AND CONSTRUCTION ACTIVITIES TO MINIMIZE DELAYS OR INTERFERENCE WITH ANY OTHER CONTRACTORS OR SUBCONTRACTORS.</li> <li>PER HANOVER DESIGN SERVICES, P.A. SURVEY AND PLANS DATED 04.21.15 LAST REVISED 06.09.15, "404 WETLANDS DO NOT EXIST ON SITE PER U.S. CORPS OF ENGINEERS DETERMINATION. SEE ACTION SAW-2012-01938.</li> <li>THE EXISTING IMPOROVEMENTS AS SHOWN HAVE BEEN TAKEN FROM A COMBINATION OF DESIGN DOCUMENTS AND FIELD SURVEY. ALL GRADE TIE-INS, ROAD CONNECTIONS, AND UTILITY CONNECTIONS SHALL BE FIELD VERIFIED TO CONFIRM THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS AS DEPICTED. CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER WITH ANY DISCREPANCIES.</li> <li>MOTATION:</li> <li>CB = CATCH BASIN TC = TOP OF CURB ELEVATION DCB = DOUBLE CATCH BASIN TC = TOP OF CURB ELEVATION DCB = DOUBLE CATCH BASIN BC = BOTTOM OF CURB (GUTTER) ELEVATION</li> </ol>		REVISIONS:	
	DI = DROP INLET       PG = PROPOSED GRADE         DDI = DOUBLE DROP INLET       HP = HIGH POINT ELEVATION         YI = YARD INLET (2-SIDE OPEN THROAT)       SW = SIDEWALK ELEVATION         WH = STORM MANHOLE       FLUME = CONCRETE DRAINAGE FLUME FLOWLINE ELEVATION         YD = YARD DRAIN       FL = FLUSH         RD* = ROOF DRAIN CONNECTION*       PAD = DUMPSTER PAD ELEVATION         *PROVIDE IN-LINE CLEANOUT AND CONNECTION TO DOWNSPOUT - SEE ARCHITECTURAL & PLUMBING PLANS FOR DOWNSPOUT CONNECTIONS.         STORMWATER MANAGEMENT WET POND NOTE:         TRACT B IS A PORTION OF THE OVERALL (107+/- ACRE) DRAINAGE AREA THAT FLOWS TO THE BARCLAY WEST WET POND NO. 1.         THE WET POND WAS DESIGNED AND PERMITTED THROUGH PLANS PREPARED BY HANOVER DESIGN SERVICES, PA AND SIGNED AND SEALED BY DAVID S. HOLLIS, PE (NCPE 20007).         DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER OR HOA, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES.         2.) ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM, PER THE APPROVED PLANS.	ATION:	Hote	reet, Su 31322
	<ol> <li>NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.</li> <li>ALL STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM.</li> <li>ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE "CURB TRANSITION" DETAIL). FOR CATCH BASINS WITHIN A TRANSITION FROM 24" STANDARD CURB &amp; GUTTER, THE RIM ELEVATION GIVEN IS 1 INCH BELOW EOP.</li> <li>MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.</li> <li>PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.</li> <li>CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.</li> </ol>	CLIENT INFORMATION:	UNTE Wilminoton	ive v munut olina 28403 791-6760 (F) Pooler,
	<ul> <li>(a) THE CONTRACTOR SHALL USE EITHER RCP (CL. III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS HP (WT) STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.</li> <li>ASPHALT AREA NOTE: </li> <li>1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.</li> <li>BUILDING PAD NOTE: </li> <li>(.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.</li> </ul>			122 Cinema Dr Wilmington, North Car (910) 791-6707 (O) (910) NC License #: C-
	For each open utility cut of         City streets, a \$325 permit         shall be required from the         City prior to occupancy         and/or project acceptance.         Name       Date         Planning	PROJECT STATUS	LAYOUT: LAYOUT: : R CONST:	DRAWING INFORMATIONPTIANCE ILL TOLLETIONDATE:06.17.20DATE:06.17.20DATE:06.17.20DATE:1" = 20DATE:1" = 20DATE:1" = 20DATE:1" = 20DATE:06.17.20DATE:06.17.20DATE:06.17.20DATE:06.17.20DATE:06.17DATE:06.17DATE:07DATE:05
(	Willington         Public Services       Engineering Division         APPROVED STORMWATER MANAGEMENT PLAN         Date:       Permit #		edacted o copy pe	ional Seal on electronic er City of ston Policy
	Signed: GRAPHIC SCALE 0 10 20 40 80 SCALE: 1"=20'		C-	<b>4.</b> 0









CURBING

CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807

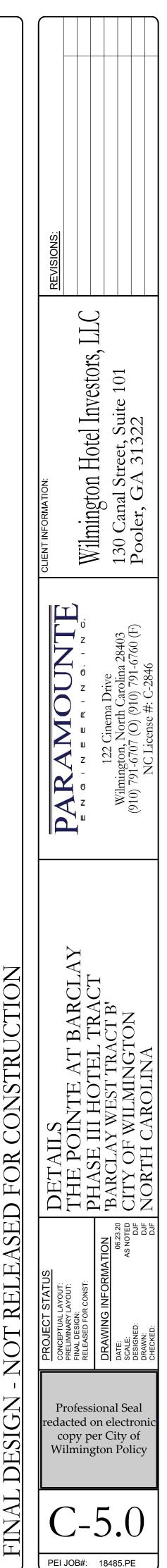
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DATE: AUGUST, 2011

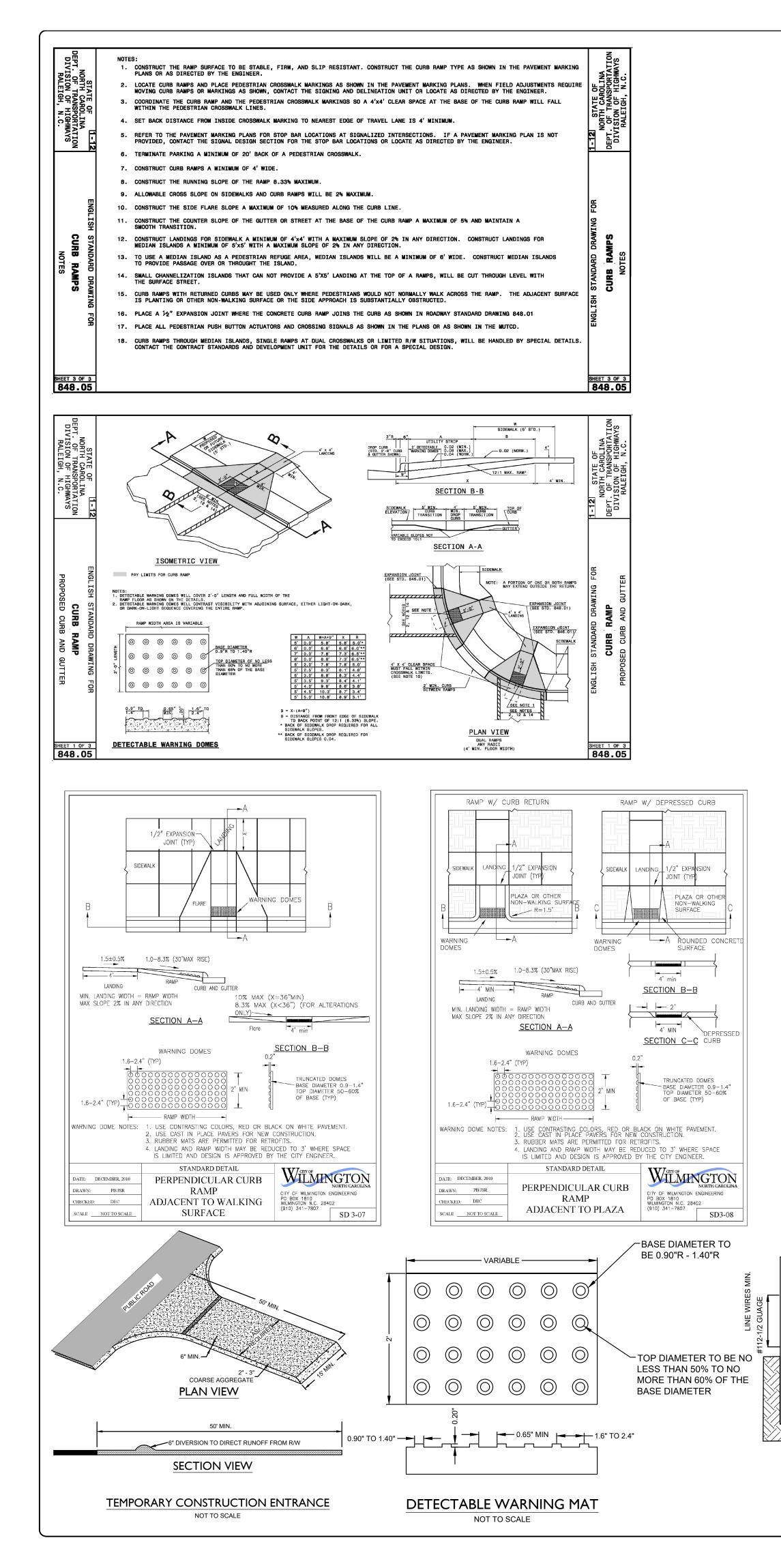
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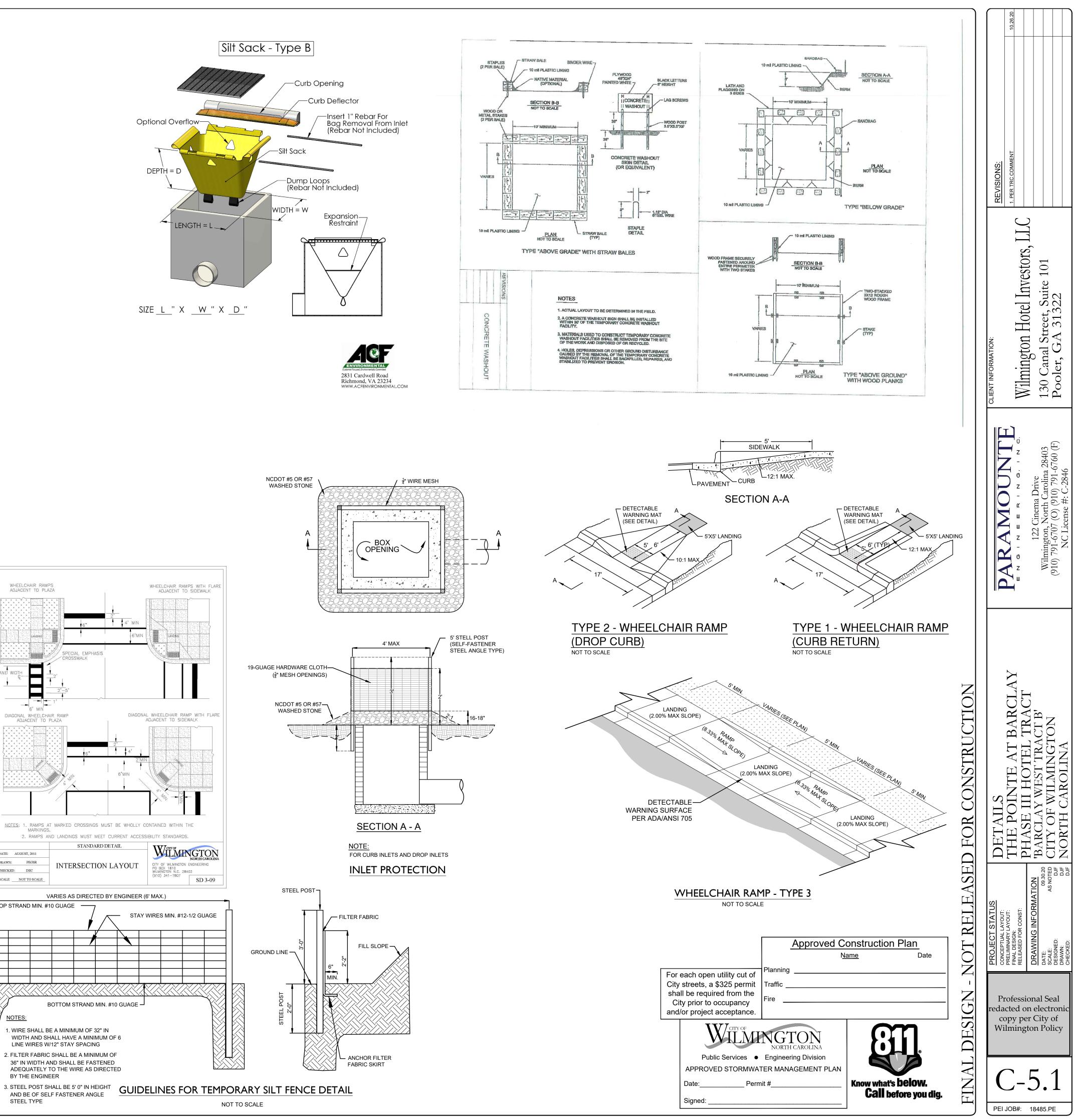
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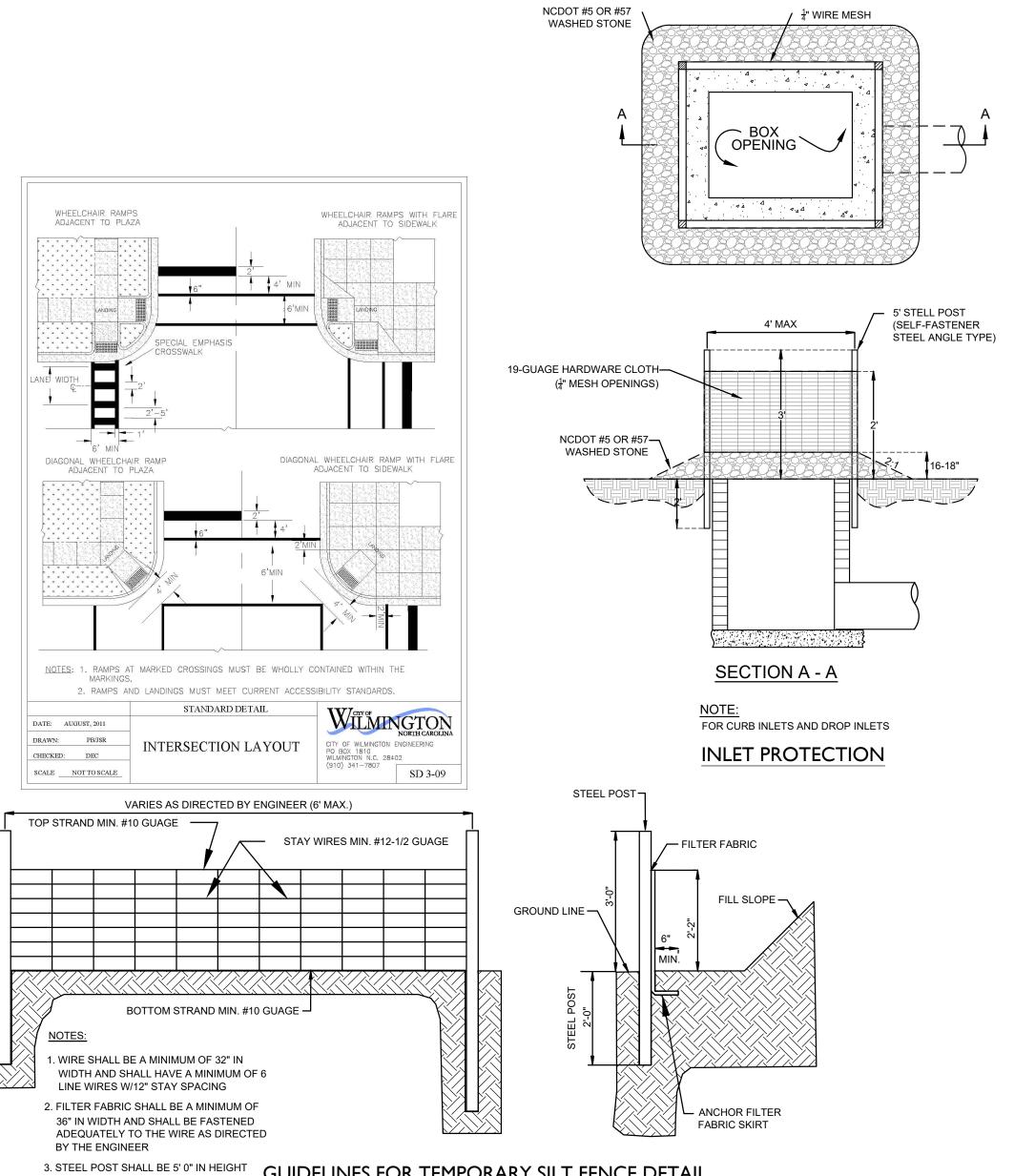
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### FORMED HOLE FOR #4 REINFORCING BAR 2' MIN. LENGTH (TYP. EA. PARKING CHOCK) DRIVE REBAR FLUSH WITH TOP OF CHOCK.

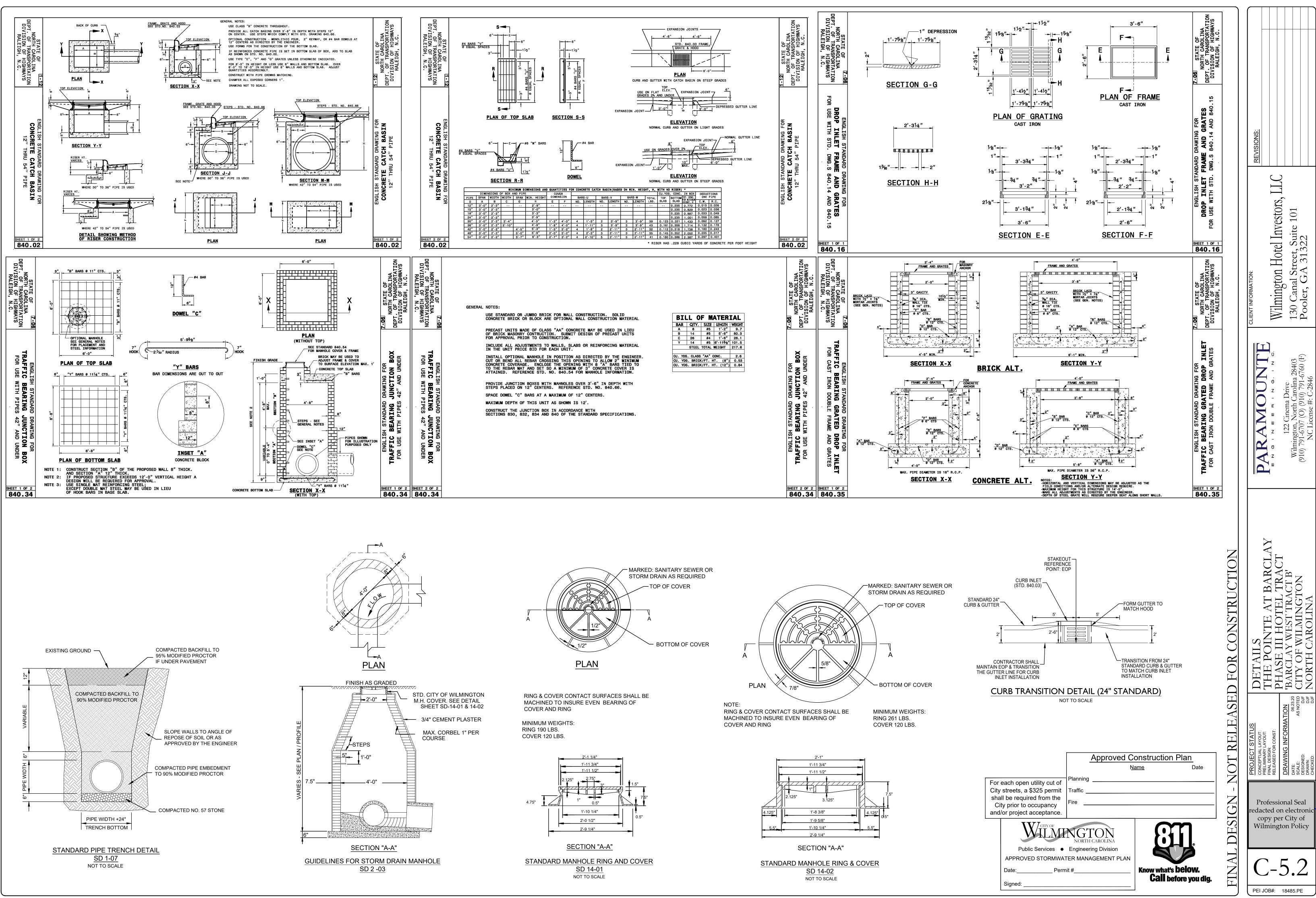


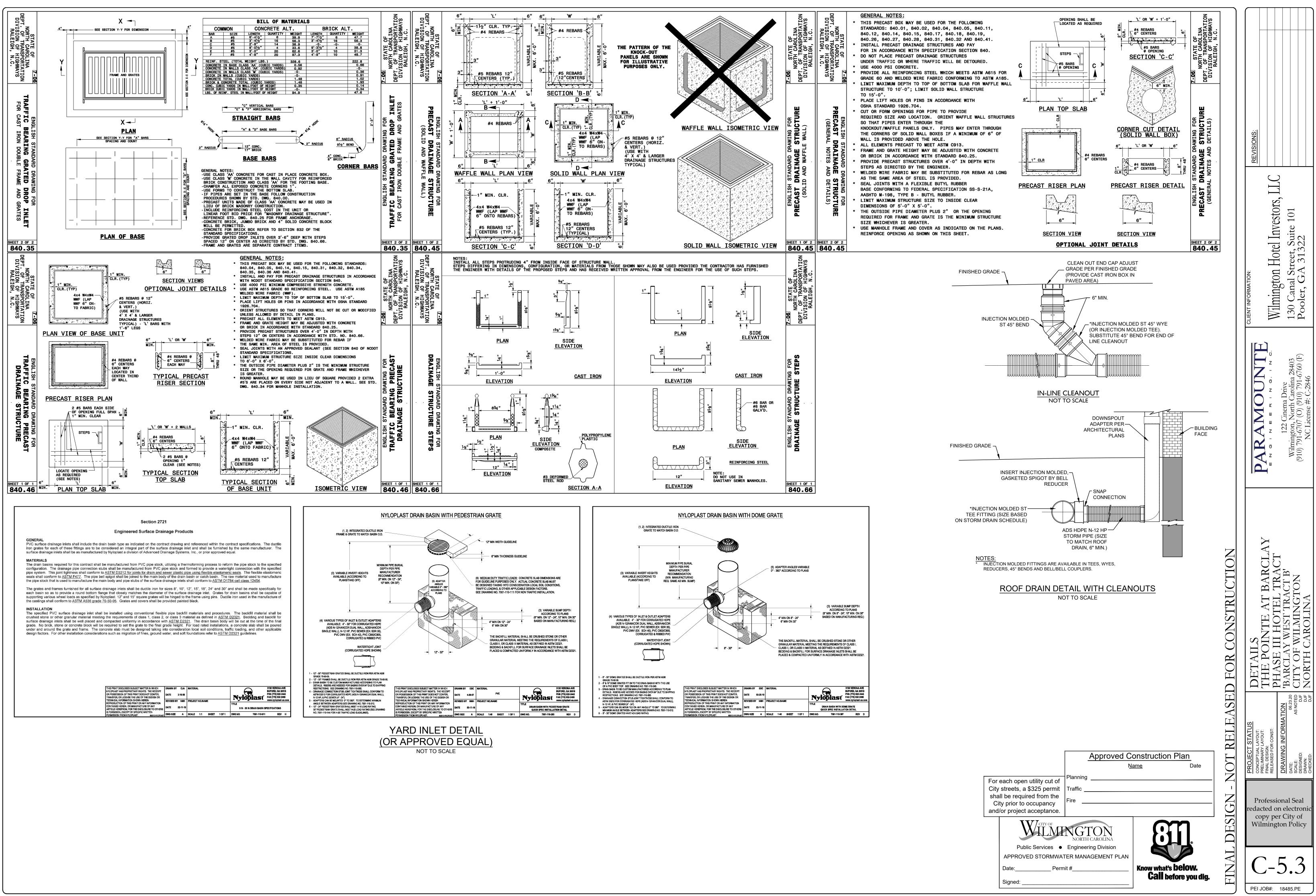


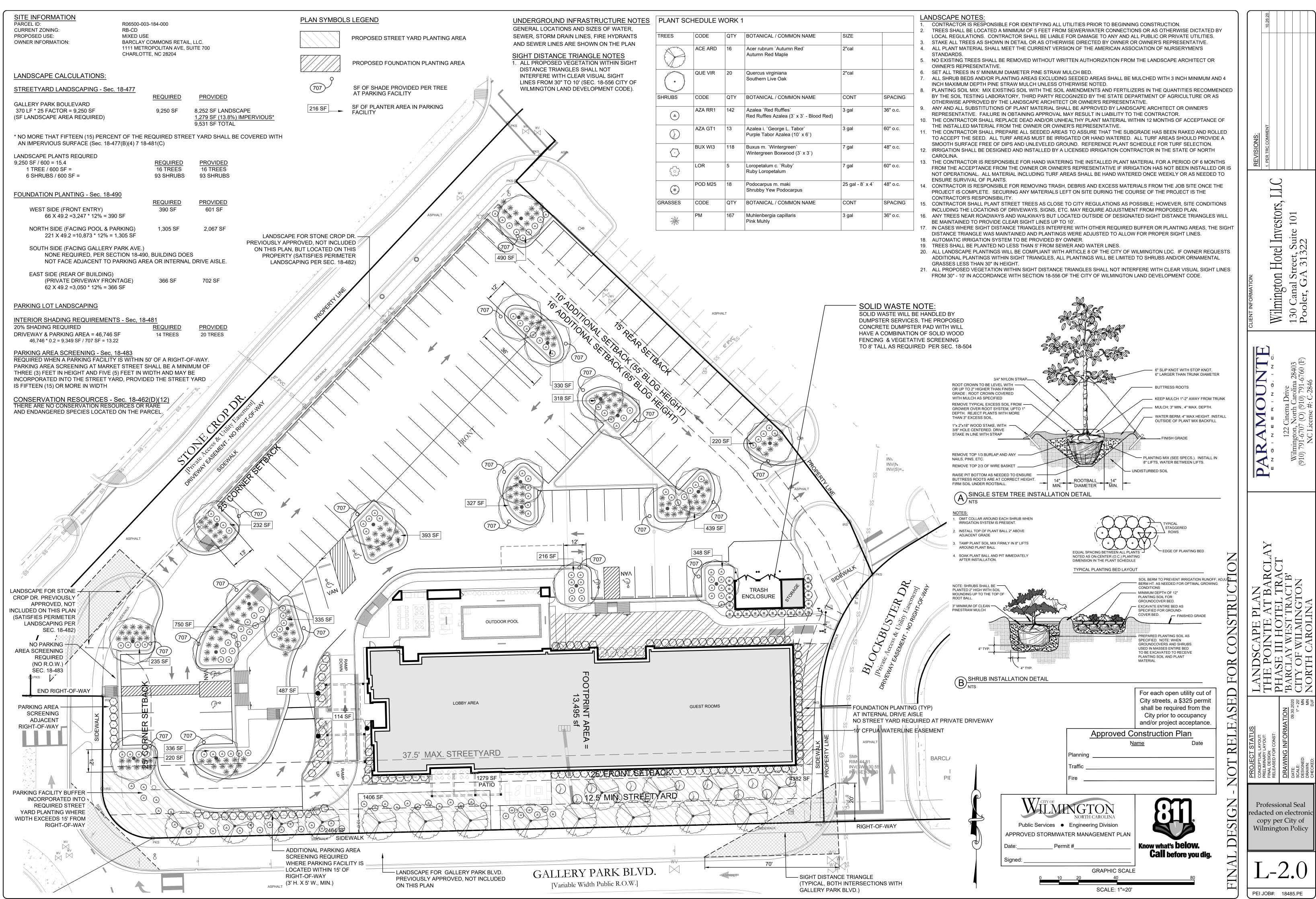


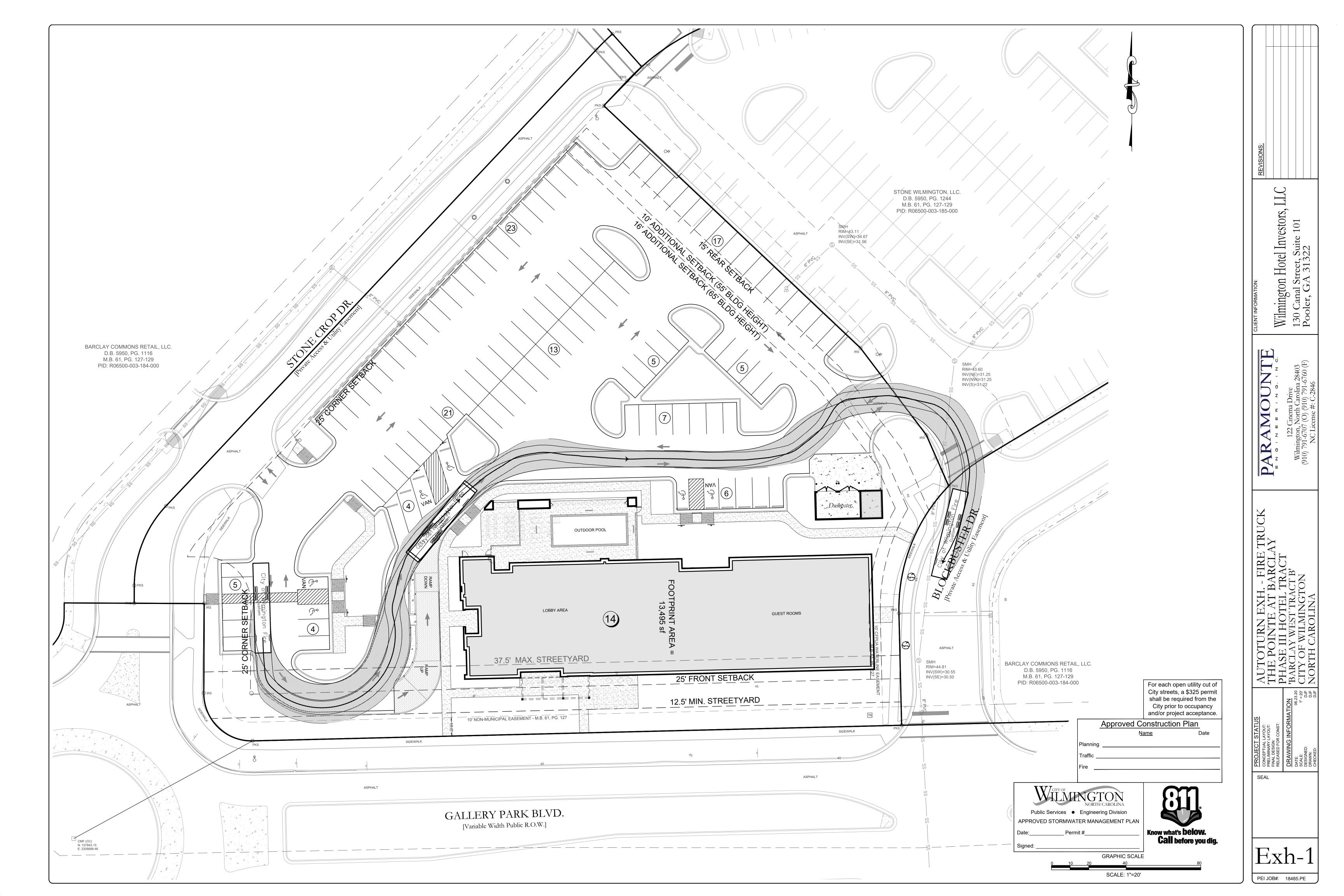
AND BE OF SELF FASTENER ANGLE

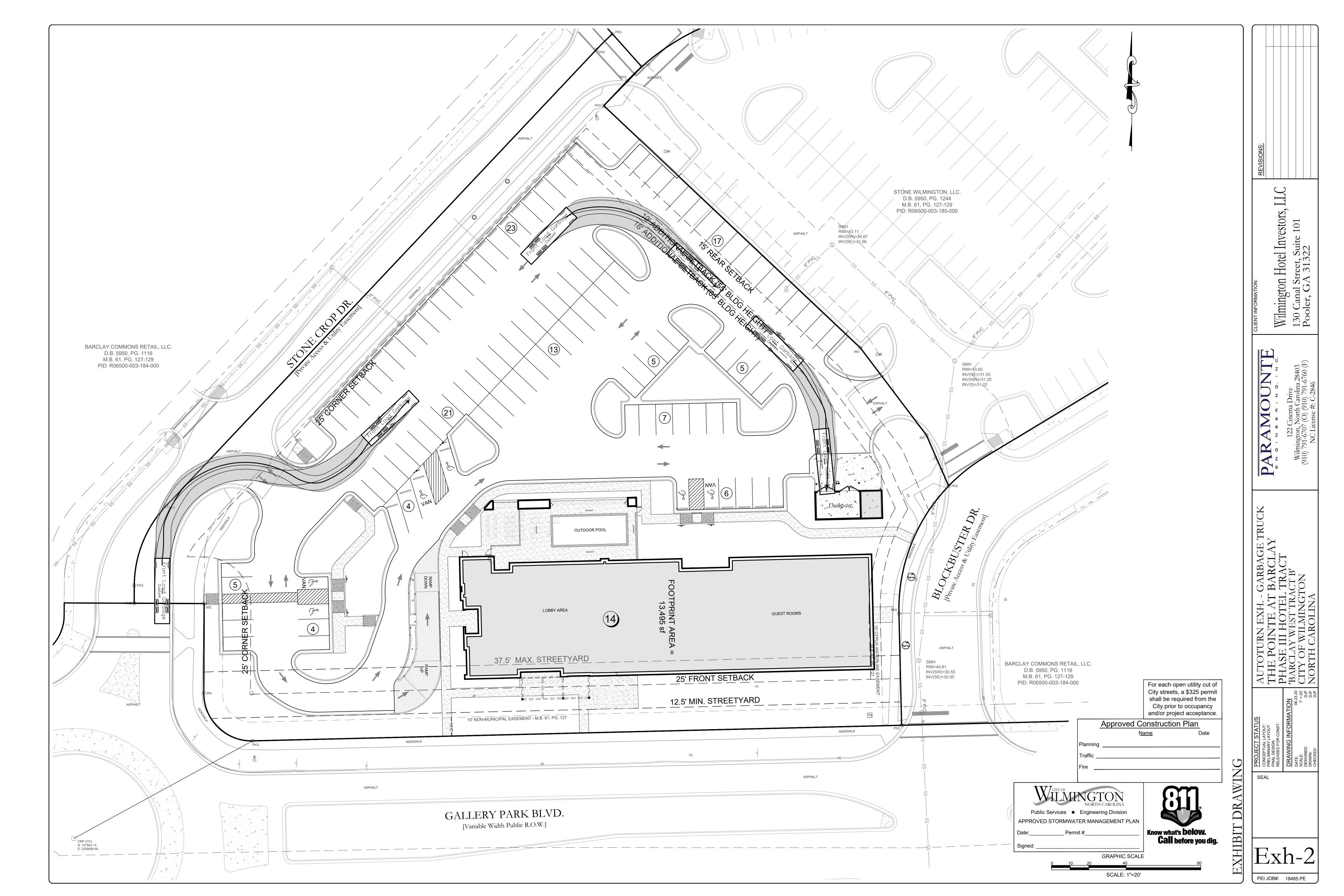
STEEL TYPE

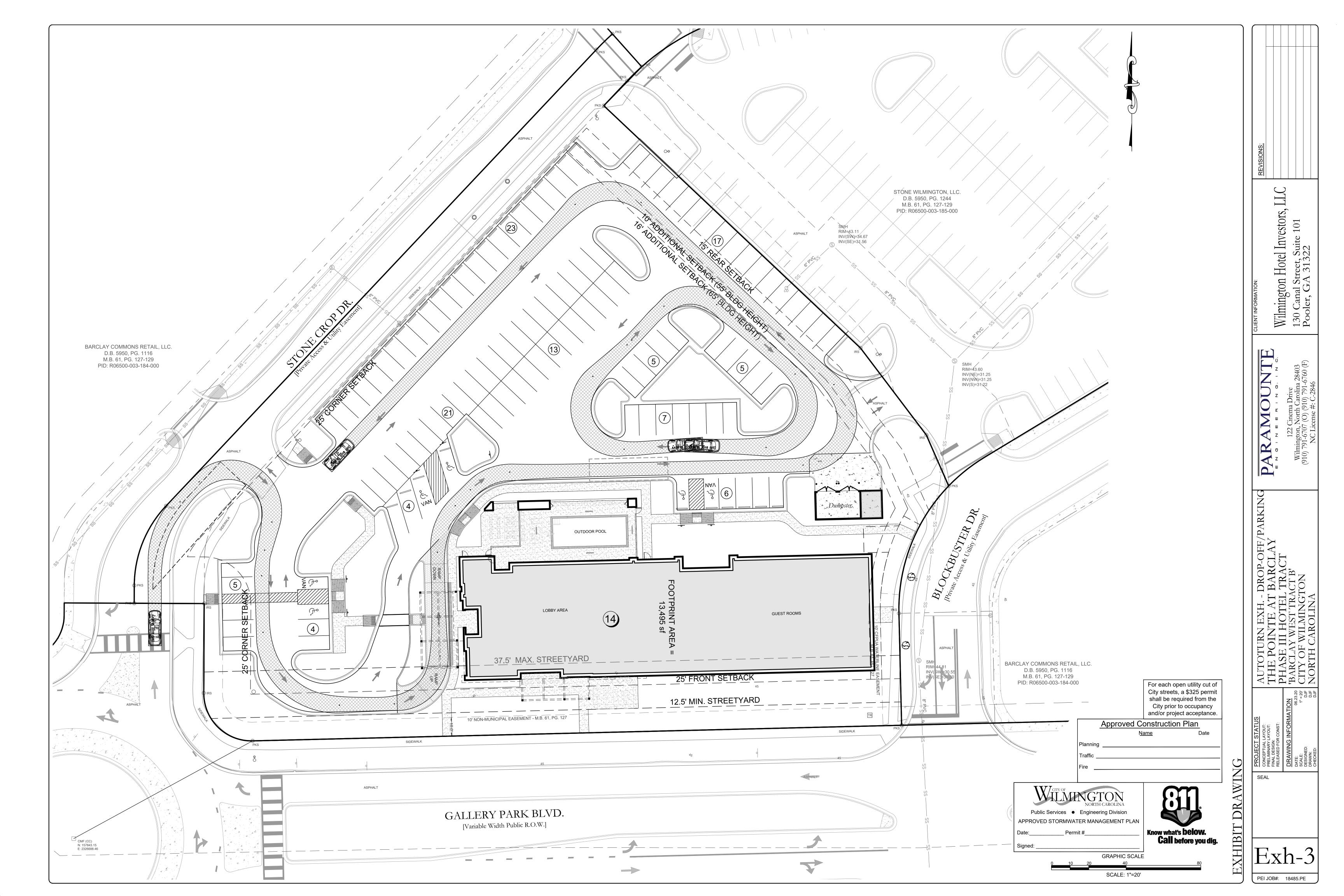






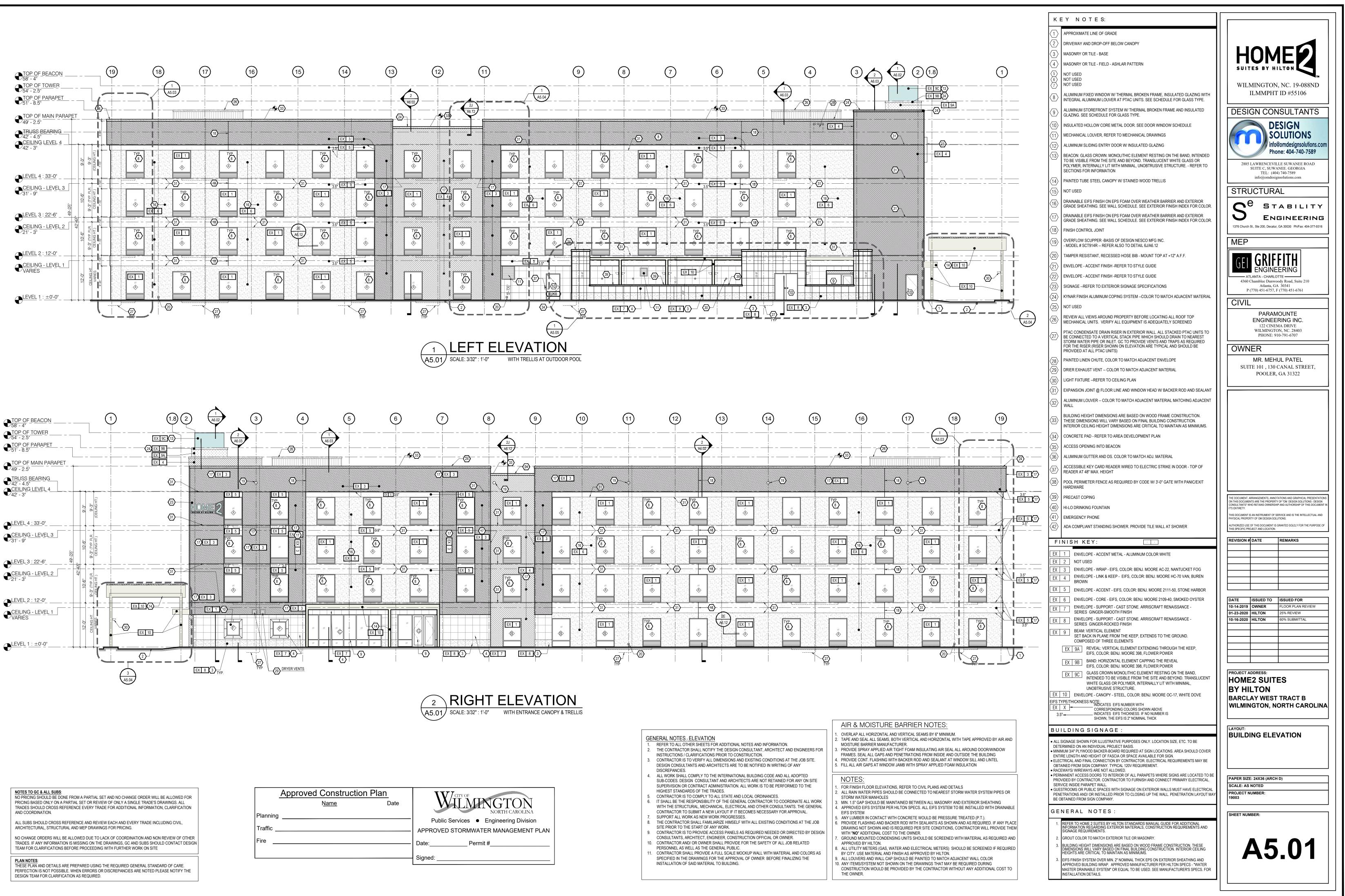




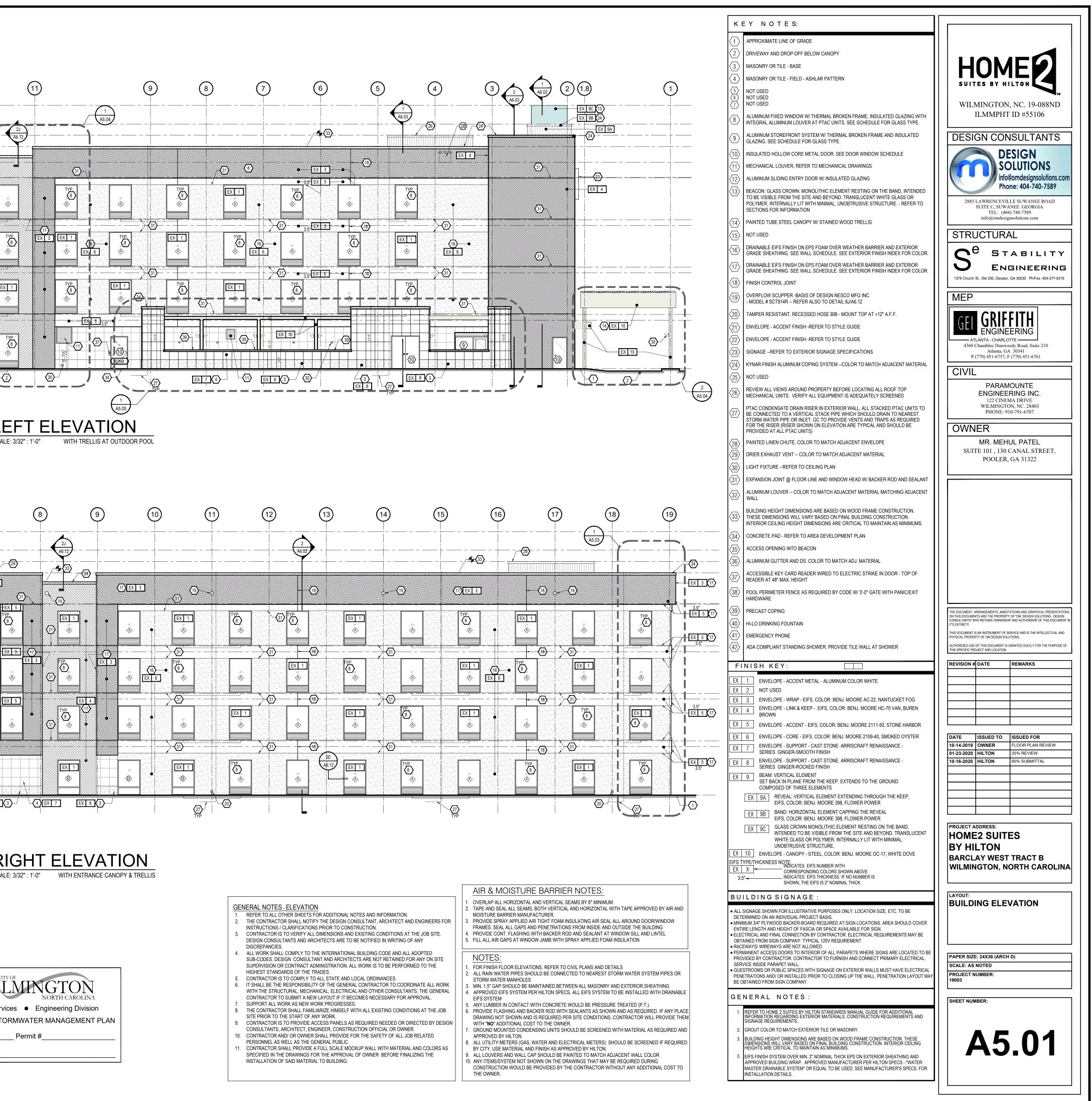


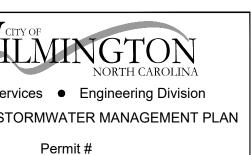
AND COORDINATION.

Approved Construction Plan Date Planning Signed:



• TOP OF BEACON				7) (16)	(15)				
TOP OF TOWER								2 	
0 TOP OF MAIN PARAPET								24	
TRUSS BEARING            42' - 4.5"            CEILING LEVEL 4            42' - 3"						• <u>EX</u> 3 •			
ะ ชุ วิง	9-3" (CEIUNG HT.) 7-7%		EX 1	TYP ®	×		×		
	2:10%					• <u>3.5</u> " EX 5			
<u>CEILING - LEVEL 3</u>	9'-3" (TYP. FLR. CEILING HT.) 7-7%	÷ 16		EX 1 (6) (5) (6)		EX 1 *	TYP 8 EX 3 (8)	EX 1	
CEILING - LEVEL 2				Sector State	31)	● <u>3.5</u> " <u>EX 5</u>			
21' - 3" - - -	9'-3" (TYP. FLR. CEILING HT.) 7-72 2	TYP (8) (3)	EX 1 I	TYP 8 8	EX 1 (A6.12)		×	TYP 8 ©	
€LEVEL 2:12'-0"						• <u>35</u> " [EX   5]			
CEILIN <u>G - LEVEL 1</u> VARIES	CEILING HT. VARIES 9-36	EX 1 (*)				EX 1	1 − 1 1 − 1		
EVEL 1: ±0'-0"_			-@				27) TYP		





THESE PLAN AND DETAILS ARE PREPARED USING THE REQUIRED GENERAL STANDARD OF CARE. PERFECTION IS NOT POSSIBLE. WHEN ERRORS OR DISCREPANCIES ARE NOTED PLEASE NOTIFY THE DESIGN TEAM FOR CLARIFICATION AS REQUIRED.

ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS FOR PRICING. NO CHANGE ORDERS WILL BE ALLOWED DUE TO LACK OF COORDINATION AND NON REVIEW OF OTHER TRADES. IF ANY INFORMATION IS MISSING ON THE DRAWINGS, GC AND SUBS SHOULD CONTACT DESIGN TEAM FOR CLARIFICATIONS BEFORE PROCEEDING WITH FURTHER WORK ON SITE

TRADES SHOULD CROSS REFERENCE EVERY TRADE FOR ADDITIONAL INFORMATION, CLARIFICATION AND COORDINATION. ALL SUBS SHOULD CROSS REFERENCE AND REVIEW EACH AND EVERY TRADE INCLUDING CIVIL,

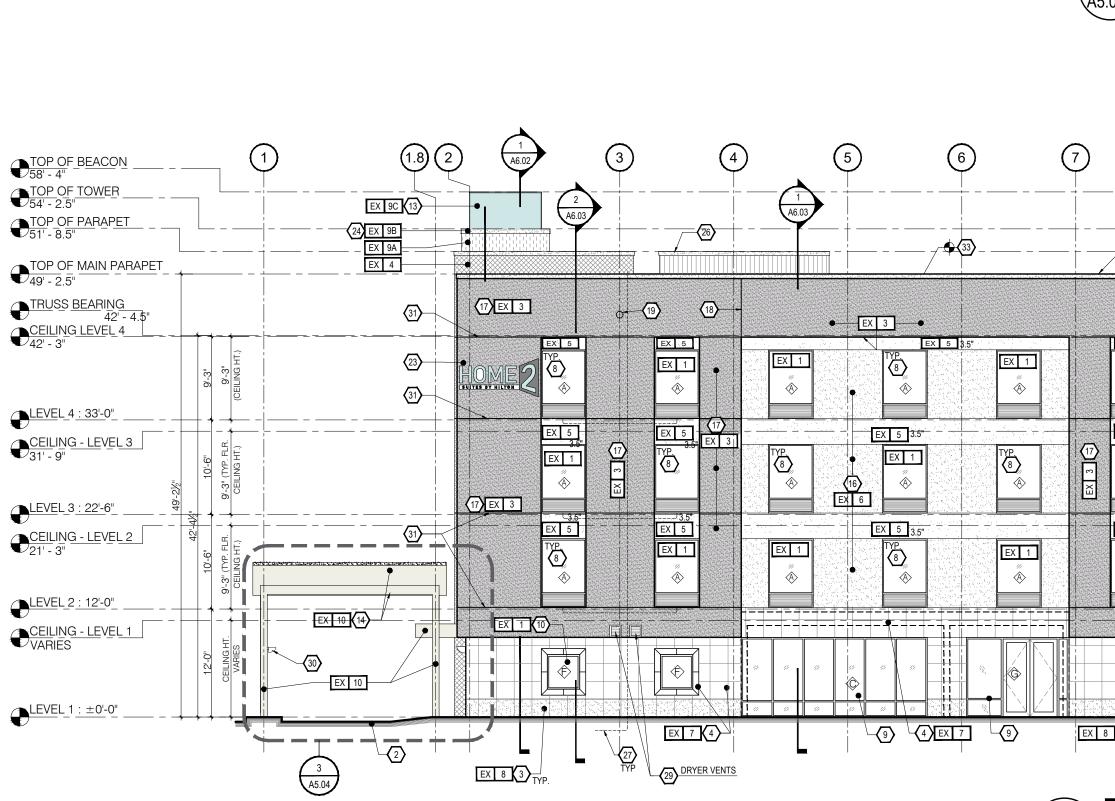
PRICING BASED ONLY ON A PARTIAL SET OR REVIEW OF ONLY A SINGLE TRADE'S DRAWINGS. ALL

NO PRICING SHOULD BE DONE FROM A PARTIAL SET AND NO CHANGE ORDER WILL BE ALLOWED FOR

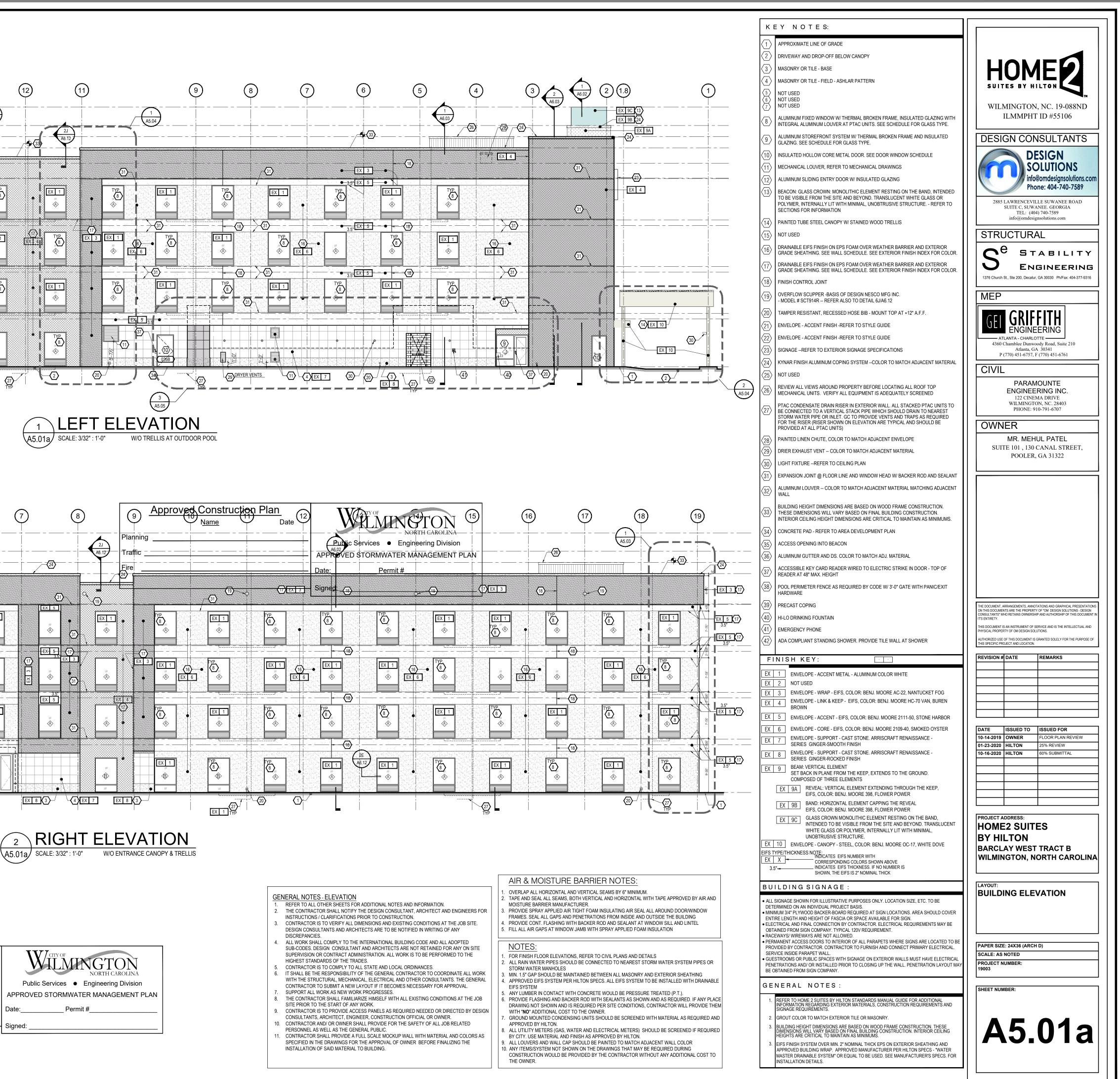
NOTES TO GC & ALL SUBS:

PLAN NOTES

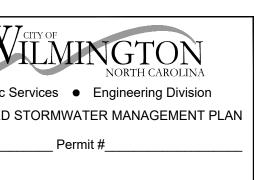
	Approved Construction	Plan	ν
	<u>Name</u>	Date	
Planning	]		Public
Traffic _			APPROVE
Fire _			Date:
			Signed:



(17) (16) (15) (14) (13) (12) TOP OF BEACON 58' - 4" <u>TOP OF TOWER</u> 54' - 2.5" TOP\_OF\_PARAPET\_ 51' - 8.5" ~<u>~</u>26) -\_ \_\_\_\_ \_ \_ \_ \_\_\_\_\_33 10P OF MAIN PARAPE 49' - 2.5" TRUSS BEARING 42' - 4.5" (18)-• EX 3 CEILING LEVEL 4 3.5" EX 5 EX 1 TYP. EX 1 <u>LEVEL 4 : 33'-0"</u> <u>-3.5"</u> EX 5 **≻\_{31)** (18)----→**3**1 CEILING - LEVEL 3 31' - 9"  $C \rightarrow$ EX 1 EX 1 EX 1 EX 4 (16) <u>LEVEL 3 : 22'-6"</u> -31)-31 CEILING - LEVEL 2 EX 1 EX 1 <u>LEVEL 2 : 12'-0"</u> (18) -→<u>(31</u>)— **≻{31}**− CEILING - LEVEL 1 VARIES EX 1 EX 1 EX 1 <u>LEVEL 1 : ±0'-0"</u> -20 27 (27) **(**27**)**-⁄ 27

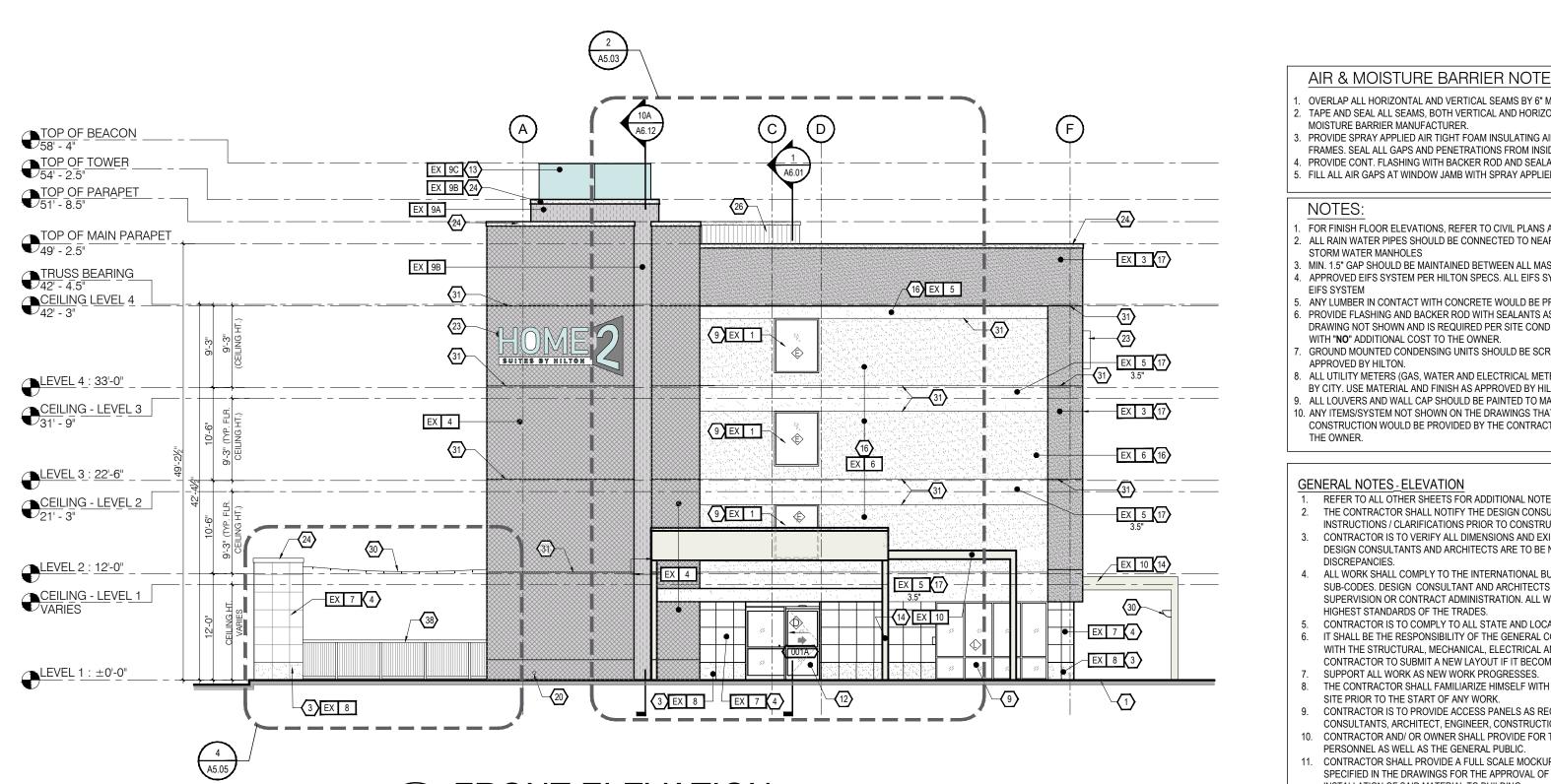


		9	Approved Constru-	uction Plan Date		TY OF LMING	TON (15		
— - — -   — - — -	2J A6.12	Planning Traffic	<b>7</b>		A6 02	vices			
-24		Fire			– Date:	Permit #			
31			-31	<u>9</u> ⑦⊡≺3	Signe <u>c</u>				<b>19</b>
€X 5 (31)			YP 8 ≪ • 	YP ⊗ ⊗		TY₽ 8 ≪>	EX 1 (*)		TYP 8 I
EX 5 35 EX 3 (7) EX 3 (7) EX 3 (7) (7) (7) (7) (7) (7) (7) (7) (7) (7)	, , , , , , , , , , , , , , , , , , ,			EX 1 (6) EX 6		EX 1 (16) EX 6	- TYP 3 (₹)		
3.5°           EX           5           -			Image: Weight of the second secon	¥		TY₽ (8) (3)	EX 1	MP       Image: State of the s	
							TYP 8 ¢		(B)
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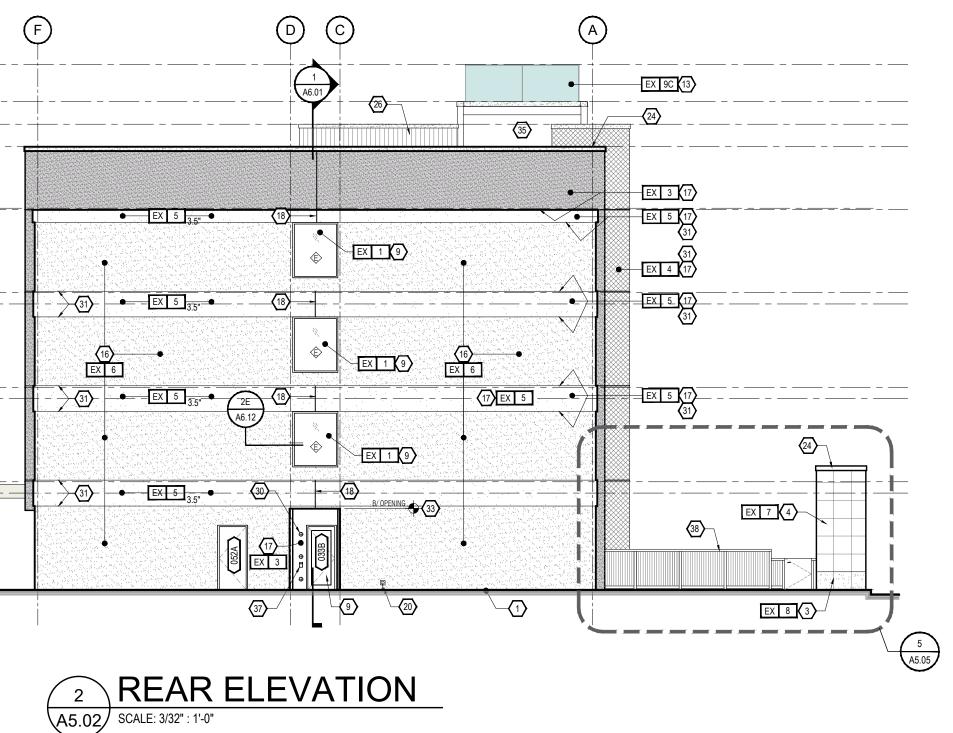


Approved Construction Plan		
<u>Name</u> D	Date	WILMINGTON
Planning		NORTH CAROLINA
J		Public Services <ul> <li>Engineering Division</li> </ul>
Traffic		APPROVED STORMWATER MANAGEMENT PLAN
Fire		Date: Permit #
		Signed:
	I	

TOP OF BEACON								
• <u>TOP OF TOWER</u>								
• 54' - 2.5" • <u>TOP OF PARAPET</u>								
10P OF MAIN PARAPET	+							
• TRUSS BEARING 42' - 4.5"								
42' - 4.5" CEILING LEVEL 4	_	<b>∔</b> _4	<b></b>	⊷				
V42' - 3"				HT.)				
		9-3"	9'-3"	(CEILING HT.)				
LEVEL <u>4 : 33'-0"</u>				0				
CEILING - LEVEL 3	+ -	-	Ľ.					
31' - 9"		10'-6"	9'-3" (TYP. FLR.	CEILING HT.				
→ EVFL 3 : 22'-6"	1 1	,	9-3	CEIL				
	"" "VDr-ICV			↓				
CEILING - LEVEL 2 21' - 3"	07		. FLR.	Η.)				
		10'-6"	9'-3" (TYP. FLR.	CEILING HT.)				
<u>LEVEL 2 : 12'-0"</u>			<u>6</u>	Ē	X 1	0 (14		
CEILING - LEVEL 1	+ -	-		<b>-</b>				
VARIES		12'-0"	CEILING HT	VARIES		2	30	
		1	CFII	>				
LEVEL_1 : ±0'-0"								







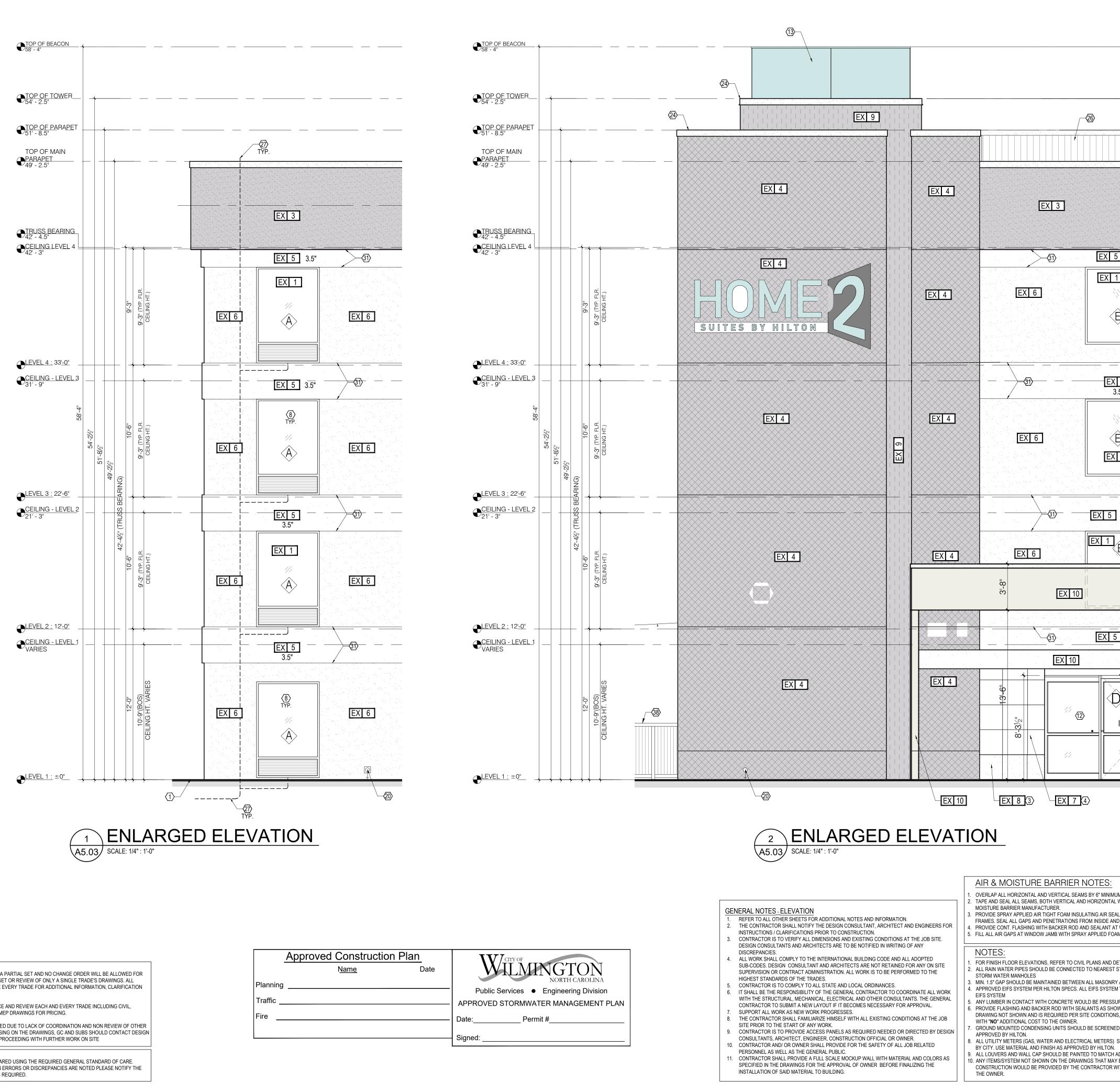
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INSTALLATION OF SAID MATERIAL TO BUILDING.

NO CHANGE ORDERS WILL BE ALLOWED DUE TO LACK OF ( TRADES. IF ANY INFORMATION IS MISSING ON THE DRAWIN TEAM FOR CLARIFICATIONS BEFORE PROCEEDING WITH FU

PLAN NOTES: THESE PLAN AND DETAILS ARE PREPARED USING THE REQ PERFECTION IS NOT POSSIBLE. WHEN ERRORS OR DISCRE DESIGN TEAM FOR CLARIFICATION AS REQUIRED.

	К	EY NOTES:			
		APPROXIMATE LINE OF GRADE			
	$\langle 2 \rangle$	DRIVEWAY AND DROP-OFF BELOW CANOPY			
	$\langle 3 \rangle$	MASONRY OR TILE - BASE MASONRY OR TILE - FIELD - ASHLAR PATTERN		UN	
	$\langle 4 \rangle$ $\langle 5 \rangle$	NOT USED	<b>S</b> UI	TES BY H	
ES:	$\begin{pmatrix} 6 \\ 7 \end{pmatrix}$	NOT USED NOT USED	WIL		N, NC. 19-088ND
" MINIMUM. ZONTAL WITH TAPE APPROVED BY AIR AND	8	ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS. SEE SCHEDULE FOR GLASS TYPE.		ILMMPH	T ID #55106
AIR SEAL ALL AROUND DOOR/WINDOW SIDE AND OUTSIDE THE BUILDING	(9)	ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING. SEE SCHEDULE FOR GLASS TYPE.	DES	GN CO	NSULTANTS
ALANT AT WINDOW SILL AND LINTEL LIED FOAM INSULATION	(10)	INSULATED HOLLOW CORE METAL DOOR. SEE DOOR WINDOW SCHEDULE		D	ESIGN
		MECHANICAL LOUVER, REFER TO MECHANICAL DRAWINGS			OLUTIONS
S AND DETAILS EAREST STORM WATER SYSTEM PIPES OR	$\langle 12 \rangle$ $\langle 13 \rangle$	ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING BEACON: GLASS CROWN: MONOLITHIC ELEMENT RESTING ON THE BAND, INTENDED			o@omdesignsolutions.com one: 404-740-7589
IASONRY AND EXTERIOR SHEATHING SYSTEM TO BE INSTALLED WITH DRAINABLE		TO BE VISIBLE FROM THE SITE AND BEYOND. TRANSLUCENT WHITE GLASS OR POLYMER, INTERNALLY LIT WITH MINIMAL, UNOBTRUSIVE STRUCTURE REFER TO	288:		ILLE SUWANEE ROAD /ANEE. GEORGIA
PRESSURE TREATED (P.T.). AS SHOWN AND AS REQUIRED. IF ANY PLACE	$\langle 14 \rangle$	SECTIONS FOR INFORMATION PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRELLIS		TEL: (40	ignsolutions.com
NDITIONS, CONTRACTOR WILL PROVIDE THEM	(15)	NOT USED	STR	UCTUR	AL
CREENED WITH MATERIAL AS REQUIRED AND ETERS) SHOULD BE SCREENED IF REQUIRED	(16)	DRAINABLE EIFS FINISH ON EPS FOAM OVER WEATHER BARRIER AND EXTERIOR GRADE SHEATHING. SEE WALL SCHEDULE. SEE EXTERIOR FINISH INDEX FOR COLOR.	C	е <sub>вт</sub>	ABILITY
HILTON. MATCH ADJACENT WALL COLOR HAT MAY BE REQUIRED DURING	(17)	DRAINABLE EIFS FINISH ON EPS FOAM OVER WEATHER BARRIER AND EXTERIOR GRADE SHEATHING. SEE WALL SCHEDULE. SEE EXTERIOR FINISH INDEX FOR COLOR.	13		GINEERING
ACTOR WITHOUT ANY ADDITIONAL COST TO	(18)	FINISH CONTROL JOINT	1376 Churc	h St., Ste 200, Decatu	ur, GA 30030 Ph/Fax: 404-377-9316
]	(19)	OVERFLOW SCUPPER -BASIS OF DESIGN NESCO MFG INC. - MODEL # SCT914R REFER ALSO TO DETAIL 6J/A6.12	MEP		
	20>	TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12" A.F.F.			FITH
ISULTANT, ARCHITECT AND ENGINEERS FOR RUCTION. EXISTING CONDITIONS AT THE JOB SITE.	(21)	ENVELOPE - ACCENT FINISH -REFER TO STYLE GUIDE		_	
E NOTIFIED IN WRITING OF ANY	$\langle 22 \rangle$ $\langle 23 \rangle$	ENVELOPE - ACCENT FINISH -REFER TO STYLE GUIDE SIGNAGEREFER TO EXTERIOR SIGNAGE SPECIFICATIONS		TLANTA - CHARL Chamblee Dunw Atlanta, G	oody Road, Suite 210
BUILDING CODE AND ALL ADOPTED TS ARE NOT RETAINED FOR ANY ON SITE WORK IS TO BE PERFORMED TO THE	$\langle 23 \rangle$	KYNAR FINISH ALUMINUM COPING SYSTEMCOLOR TO MATCH ADJACENT MATERIAL		<b>P</b> (770) 451-6757,	F (770) 451-6761
ICAL ORDINANCES.	25	NOT USED	CIVI		
CONTRACTOR TO COORDINATE ALL WORK AND OTHER CONSULTANTS. THE GENERAL DMES NECESSARY FOR APPROVAL.	26	REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED		ENGINE	MOUNTE ERING INC. EMA DRIVE
TH ALL EXISTING CONDITIONS AT THE JOB	27	PTAC CONDENSATE DRAIN RISER IN EXTERIOR WALL. ALL STACKED PTAC UNITS TO BE CONNECTED TO A VERTICAL STACK PIPE WHICH SHOULD DRAIN TO NEAREST		WILMINGT	EMA DRIVE FON, NC. 28403 910-791-6707
REQUIRED NEEDED OR DIRECTED BY DESIGN		STORM WATER PIPE OR INLET. GC TO PROVIDE VENTS AND TRAPS AS REQUIRED FOR THE RISER (RISER SHOWN ON ELEVATION ARE TYPICAL AND SHOULD BE PROVIDED AT ALL PTAC UNITS)		IER	
R THE SAFETY OF ALL JOB RELATED	28	PAINTED LINEN CHUTE, COLOR TO MATCH ADJACENT ENVELOPE		MR. MEH	
CUP WALL WITH MATERIAL AND COLORS AS DF OWNER BEFORE FINALIZING THE	29	DRIER EXHAUST VENT COLOR TO MATCH ADJACENT MATERIAL	SU		CANAL STREET, R, GA 31322
	$\langle 30 \rangle$ $\langle 31 \rangle$	LIGHT FIXTUREREFER TO CEILING PLAN EXPANSION JOINT @ FLOOR LINE AND WINDOW HEAD W/ BACKER ROD AND SEALANT			
	32	ALUMINUM LOUVER COLOR TO MATCH ADJACENT MATERIAL MATCHING ADJACENT			
		WALL BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION.			
	33	THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS.			
	34	CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN			
	35	ACCESS OPENING INTO BEACON			
		ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF			
	(37)	READER AT 48" MAX. HEIGHT			
	(38)	POOL PERIMETER FENCE AS REQUIRED BY CODE W/ 3'-0" GATE WITH PANIC/EXIT HARDWARE			
	$\langle 39 \rangle$ $\langle 40 \rangle$	PRECAST COPING HI-LO DRINKING FOUNTAIN	ON THIS DOCUM CONSULTANTS"	ENTS ARE THE PROPER	OTATIONS AND GRAPHICAL PRESENTATIONS TY OF "OM DESIGN SOLUTIONS - DESIGN IHIP AND AUTHORSHIP OF THIS DOCUMENT IN
	40/	EMERGENCY PHONE		IS AN INSTRUMENT OF ERTY OF OM DESIGN SC	SERVICE AND IS THE INTELLECTUAL AND DLUTIONS.
	$\langle 42 \rangle$	ADA COMPLIANT STANDING SHOWER. PROVIDE TILE WALL AT SHOWER		E OF THIS DOCUMENT IS ROJECT AND LOCATION	S GRANTED SOLELY FOR THE PURPOSE OF I.
	FI	NISH KEY:	REVISION	# DATE	REMARKS
	EX				
	EX EX	2 NOT USED 3 ENVELOPE - WRAP - EIFS, COLOR: BENJ. MOORE AC-22, NANTUCKET FOG			
		4 ENVELOPE - LINK & KEEP - EIFS, COLOR: BENJ. MOORE HC-70 VAN, BUREN BROWN			
		5 ENVELOPE - ACCENT - EIFS, COLOR: BENJ. MOORE 2111-50, STONE HARBOR			1
	EX EX	7 ENVELOPE - SUPPORT - CAST STONE. ARRISCRAFT RENAISSANCE -	DATE 10-14-2019	-	ISSUED FOR FLOOR PLAN REVIEW
	EX	SERIES GINGER-SMOOTH FINISH     ENVELOPE - SUPPORT - CAST STONE. ARRISCRAFT RENAISSANCE -	01-23-2020 10-16-2020		25% REVIEW 60% SUBMITTAL
	EX	SERIES GINGER-ROCKED FINISH			
		SET BACK IN PLANE FROM THE KEEP, EXTENDS TO THE GROUND.         COMPOSED OF THREE ELEMENTS         EX       9A         REVEAL: VERTICAL ELEMENT EXTENDING THROUGH THE KEEP,			
		EIFS, COLOR: BENJ. MOORE 398, FLOWER POWER			
		EX       9B       BAND: HORIZONTAL ELEMENT CAPPING THE REVEAL         EIFS, COLOR: BENJ: MOORE 398, FLOWER POWER         EX       9C         GLASS CROWN MONOLITHIC ELEMENT RESTING ON THE BAND,         EX       9C	PROJECT	ADDRESS:	
		INTENDED TO BE VISIBLE FROM THE SITE AND BEYOND. TRANSLUCENT WHITE GLASS OR POLYMER, INTERNALLY LIT WITH MINIMAL,	НОМ	E2 SUIT	ES
	EX ELES T			ILTON LAY WEST	T TRACT B
		YPE/THICKNESS NOTE: INDICATES EIFS NUMBER WITH CORRESPONDING COLORS SHOWN ABOVE INDICATES EIFS THICKNESS. IF NO NUMBER IS			IORTH CAROLINA
		SHOWN, THE EIFS IS 2" NOMINAL THICK			
				ING ELE	
	DET	SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION SIZE, ETC. TO BE ERMINED ON AN INDIVIDUAL PROJECT BASIS. MUM 3/4" PLYWOOD BACKER-BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER			
]	ENTI • ELEC	RE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. TRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE AINED FROM SIGN COMPANY, TYPICAL 120V REQUIREMENT.			
NO CHANGE ORDER WILL BE ALLOWED FOR DNLY A SINGLE TRADE'S DRAWINGS. ALL	RAC     PER	EWAYS/ WIREWAYS ARE NOT ALLOWED. WANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE		Æ: 24X36 (ARC	нр)
ADDITIONAL INFORMATION, CLARIFICATION	SER' • GUE	VIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL. VICE INSIDE PARAPET WALL. STROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL	SCALE: AS	S NOTED	
H AND EVERY TRADE INCLUDING CIVIL, R PRICING.	PEN	ETRATIONS AND/ OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BTAINED FROM SIGN COMPANY.	PROJECT 19003	NUMBER:	
F COORDINATION AND NON REVIEW OF OTHER INGS, GC AND SUBS SHOULD CONTACT DESIGN	GE	NERAL NOTES :	SHEET NU	MBER:	
FURTHER WORK ON SITE	1.	REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL GUIDE FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND			
EQUIRED GENERAL STANDARD OF CARE. REPANCIES ARE NOTED PLEASE NOTIFY THE		SIGNAGE REQUIREMENTS. GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.			
	3.	BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.		45	.02
	3.	EIFS FINISH SYSTEM OVER MIN. 2" NOMINAL THICK EPS ON EXTERIOR SHEATHING AND APPROVED BUILDING WRAP. APPROVED MANUFACTURER PER HILTON SPECS - "WATER MASTER DRAINIAR E SYSTEM" OR EQUAL TO BE USED. SEE MANUFACTURER'S SPECS. FOR			
		MASTER DRAINABLE SYSTEM" OR EQUAL TO BE USED. SEE MANUFACTURER'S SPECS. FOR INSTALLATION DETAILS.			



NO PRICING SHOULD BE DONE FROM A PARTIAL SET AND NO CHANGE ORDER WILL BE ALLOWED FOR PRICING BASED ONLY ON A PARTIAL SET OR REVIEW OF ONLY A SINGLE TRADE'S DRAWINGS. ALL TRADES SHOULD CROSS REFERENCE EVERY TRADE FOR ADDITIONAL INFORMATION, CLARIFICATION AND COORDINATION.

ALL SUBS SHOULD CROSS REFERENCE AND REVIEW EACH AND EVERY TRADE INCLUDING CIVIL, ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS FOR PRICING.

NOTES TO GC & ALL SUBS:

PLAN NOTES:

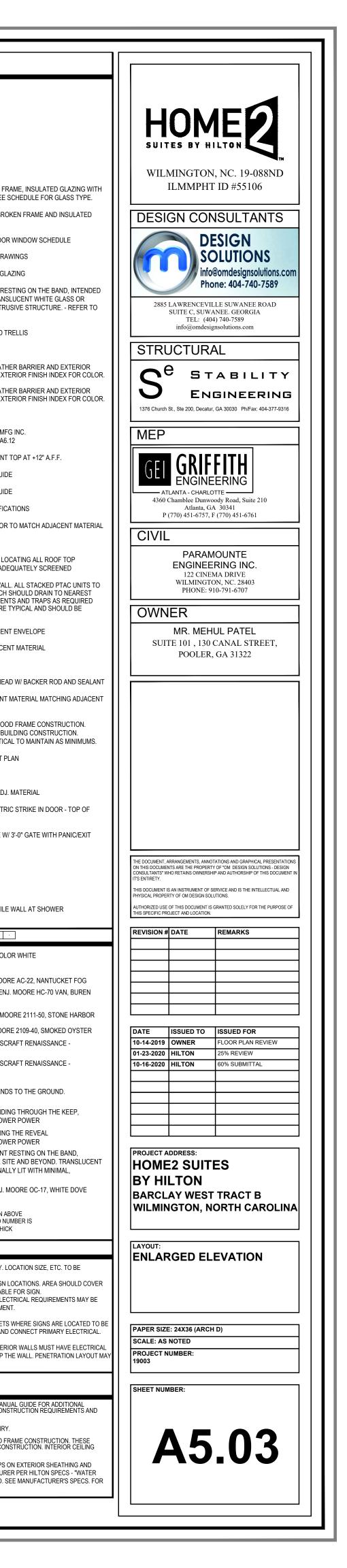
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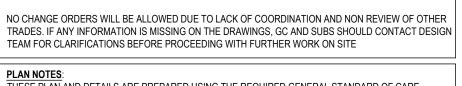
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Ар	proved Constructio	n Plan	
	<u>Name</u>	Date	
Planning			
5			P
Traffic			APPR
Fire			Date:
			Signed

	$\langle 1 \rangle$	APPROXIMATE LINE OF GRADE
	$\langle 2 \rangle$	DRIVEWAY AND DROP-OFF BELOW CANOPY
	$\overline{3}$	MASONRY OR TILE - BASE
	$\left  \begin{array}{c} 0 \\ 4 \end{array} \right $	MASONRY OR TILE - FIELD - ASHLAR PATTERN
	5	NOT USED
	$\left  \begin{array}{c} 6 \\ 7 \end{array} \right $	NOT USED NOT USED
	$\left  \begin{array}{c} \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\$	ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLA
		INTEGRAL ALUMINUM LOUVER AT PTAC UNITS. SEE SCHEDULE FOR GLASS
	9	ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSU GLAZING. SEE SCHEDULE FOR GLASS TYPE.
	$\langle 10 \rangle$	INSULATED HOLLOW CORE METAL DOOR. SEE DOOR WINDOW SCHEDULE
	$\langle 11 \rangle$	MECHANICAL LOUVER, REFER TO MECHANICAL DRAWINGS
	(12)	ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
<b></b>	$\overline{13}$	BEACON: GLASS CROWN: MONOLITHIC ELEMENT RESTING ON THE BAND,
		TO BE VISIBLE FROM THE SITE AND BEYOND. TRANSLUCENT WHITE GLASS POLYMER, INTERNALLY LIT WITH MINIMAL, UNOBTRUSIVE STRUCTURE R
		SECTIONS FOR INFORMATION
	$\left\langle 14\right\rangle$	PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRELLIS
	$\left< \frac{16}{16} \right>$	DRAINABLE EIFS FINISH ON EPS FOAM OVER WEATHER BARRIER AND EXT GRADE SHEATHING. SEE WALL SCHEDULE. SEE EXTERIOR FINISH INDEX F
2018년 1월 1999년 1월 19 1991년 1월 1999년 1월 199	(17)	DRAINABLE EIFS FINISH ON EPS FOAM OVER WEATHER BARRIER AND EXT GRADE SHEATHING. SEE WALL SCHEDULE. SEE EXTERIOR FINISH INDEX F
	$\langle 18 \rangle$	FINISH CONTROL JOINT
3.5"	$\langle 19 \rangle$	OVERFLOW SCUPPER -BASIS OF DESIGN NESCO MFG INC.
		- MODEL # SCT914R REFER ALSO TO DETAIL 6J/A6.12
	20	TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12" A.F.F.
	21	ENVELOPE - ACCENT FINISH -REFER TO STYLE GUIDE
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	23	SIGNAGEREFER TO EXTERIOR SIGNAGE SPECIFICATIONS
	24	KYNAR FINISH ALUMINUM COPING SYSTEMCOLOR TO MATCH ADJACENT
	25	NOT USED
	26	REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TO MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED
		PTAC CONDENSATE DRAIN RISER IN EXTERIOR WALL. ALL STACKED PTAC
5"	27	BE CONNECTED TO A VERTICAL STACK PIPE WHICH SHOULD DRAIN TO NE STORM WATER PIPE OR INLET. GC TO PROVIDE VENTS AND TRAPS AS REC
		FOR THE RISER (RISER SHOWN ON ELEVATION ARE TYPICAL AND SHOULD PROVIDED AT ALL PTAC UNITS)
	28	PAINTED LINEN CHUTE, COLOR TO MATCH ADJACENT ENVELOPE
	29	DRIER EXHAUST VENT COLOR TO MATCH ADJACENT MATERIAL
	$\langle 30 \rangle$	LIGHT FIXTUREREFER TO CEILING PLAN
	31	EXPANSION JOINT @ FLOOR LINE AND WINDOW HEAD W/ BACKER ROD AN
	$\langle 32 \rangle$	ALUMINUM LOUVER COLOR TO MATCH ADJACENT MATERIAL MATCHING
<u> </u>	33	BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCT THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
		INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MI
3.5"	$\langle 34 \rangle$	CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN ACCESS OPENING INTO BEACON
	$\langle 35 \rangle$ $\langle 36 \rangle$	ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
		ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - T
	$\langle 37 \rangle$	READER AT 48" MAX. HEIGHT
	38	POOL PERIMETER FENCE AS REQUIRED BY CODE W/ 3'-0" GATE WITH PANI
	39	HARDWARE
	$\left< \frac{40}{41} \right>$	
na stani se stali di Sala ingenerati na seconda di Sala ingenerati na seconda di Sala ingenerati na seconda di Sala seconda di Sala seconda di	$\langle 41 \rangle$ $\langle 42 \rangle$	EMERGENCY PHONE ADA COMPLIANT STANDING SHOWER. PROVIDE TILE WALL AT SHOWER
<b>]</b> 3.5"	\ <u><u></u></u>	
	FI	NISH KEY:
	EX	1 ENVELOPE - ACCENT METAL - ALUMINUM COLOR WHITE
<u> </u>	EX	
	EX EX	3 ENVELOPE - WRAP - EIFS, COLOR: BENJ. MOORE AC-22, NANTUCKET 4 ENVELOPE - LINK & KEEP - EIFS, COLOR: BENJ. MOORE HC-70 VAN, B
		BROWN
	EX EX	5 ENVELOPE - ACCENT - EIFS, COLOR: BENJ. MOORE 2111-50, STONE F 6 ENVELOPE - CORE - EIFS, COLOR: BENJ. MOORE 2109-40, SMOKED O
	EX EX	ENVELOPE - SUPPORT - CAST STONE. ARRISCRAFT RENAISSANCE -
	EX	
	EX	9 BEAM: VERTICAL ELEMENT SET BACK IN PLANE FROM THE KEEP, EXTENDS TO THE GROUND.
		COMPOSED OF THREE ELEMENTS           EX         9A         REVEAL: VERTICAL ELEMENT EXTENDING THROUGH THE KEE
		EIFS, COLOR: BENJ. MOORE 398, FLOWER POWER
		EIFS, COLOR: BENJ. MOORE 398, FLOWER POWER
		EX         9C         GLASS CROWN MONOLITHIC ELEMENT RESTING ON THE BAN INTENDED TO BE VISIBLE FROM THE SITE AND BEYOND. TRAF
		WHITE GLASS OR POLYMER, INTERNALLY LIT WITH MINIMAL, UNOBTRUSIVE STRUCTURE.
	EX	10 ENVELOPE - CANOPY - STEEL, COLOR: BENJ. MOORE OC-17, WHITE I
	EIFST	YPE/THICKNESS NOTE: INDICATES EIFS NUMBER WITH CORRESPONDING COLORS SHOWN ABOVE
	3.5	"
	вu	ILDING SIGNAGE :
JM. WITH TAPE APPROVED BY AIR AND		SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION SIZE, ETC. TO
L ALL AROUND DOOR/WINDOW	DETE	EMINED ON AN INDIVIDUAL PROJECT BASIS. MUM 3/4" PLYWOOD BACKER-BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOI
D OUTSIDE THE BUILDING WINDOW SILL AND LINTEL	ENTI	IRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. CTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENT
MINSULATION	OBT/ • RACI	AINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT. EWAYS/ WIREWAYS ARE NOT ALLOWED.
ı	PERI     PRO	MANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LO VIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY EL
	• GUE	VICE INSIDE PARAPET WALL. STROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE
STORM WATER SYSTEM PIPES OR		ETRATIONS AND/ OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION BTAINED FROM SIGN COMPANY.
AND EXTERIOR SHEATHING TO BE INSTALLED WITH DRAINABLE	GΕ	NERAL NOTES:
JRE TREATED (P.T.). WN AND AS REQUIRED. IF ANY PLACE	1.	REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL GUIDE FOR ADDITIC
WN AND AS REQUIRED. IF ANY PLACE S, CONTRACTOR WILL PROVIDE THEM		INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREME SIGNAGE REQUIREMENTS.
D WITH MATERIAL AS REQUIRED AND		GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.
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' BE REQUIRED DURING /ITHOUT ANY ADDITIONAL COST TO		MASTER DRAINABLE SYSTEM" OR EQUAL TO BE USED. SEE MANUFACTURER'S S INSTALLATION DETAILS.
		· · · · · · · · · · · · · · · · · · ·

KEY NOTES:





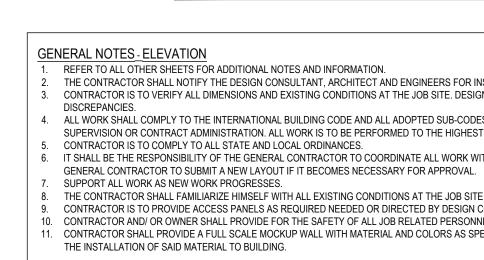
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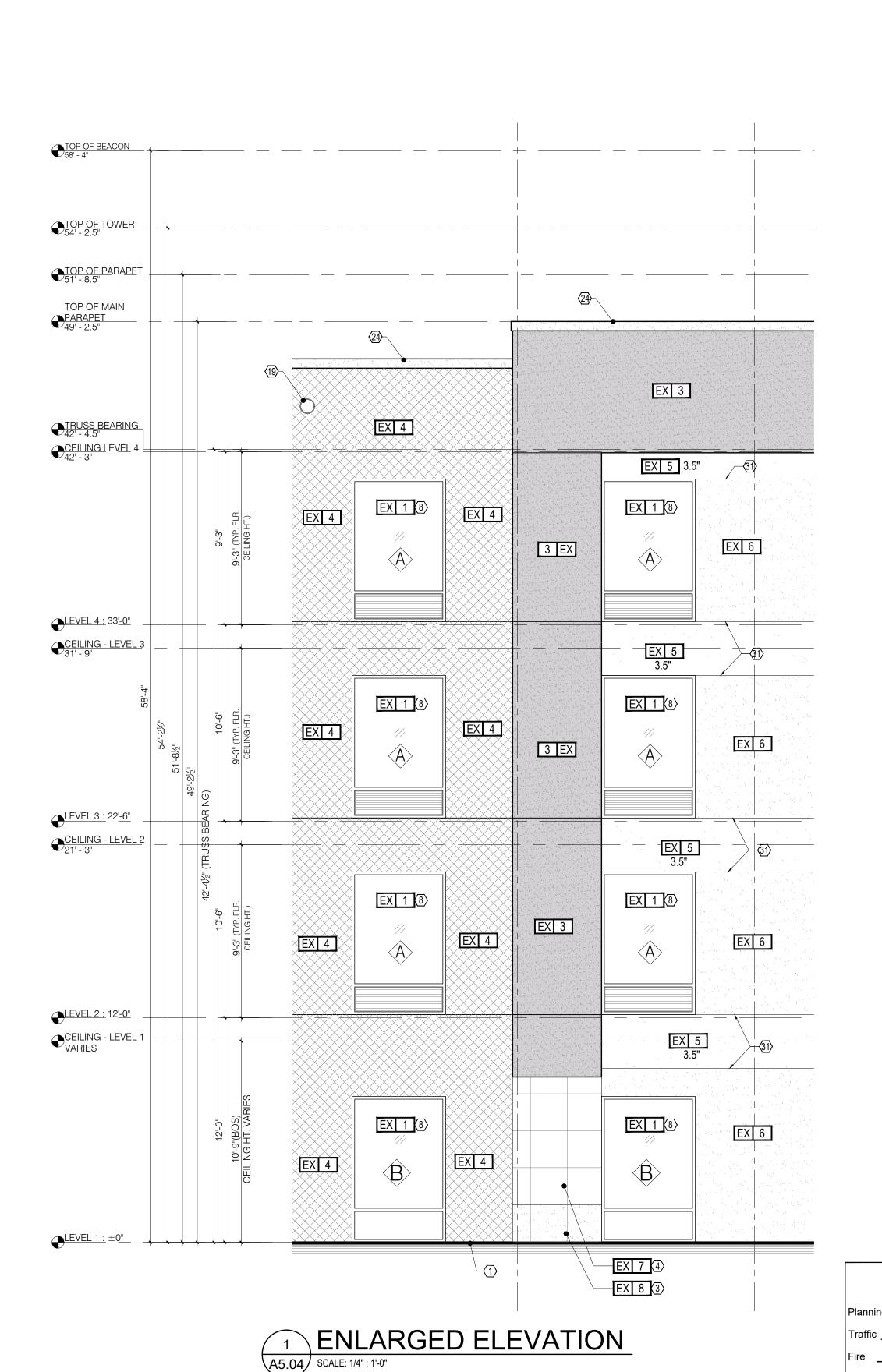
AND COORDINATION.

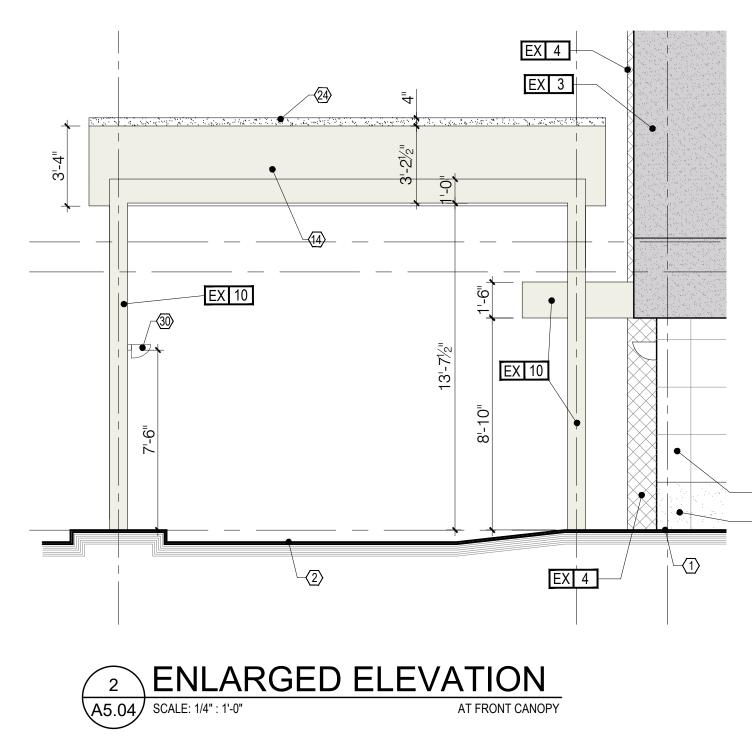
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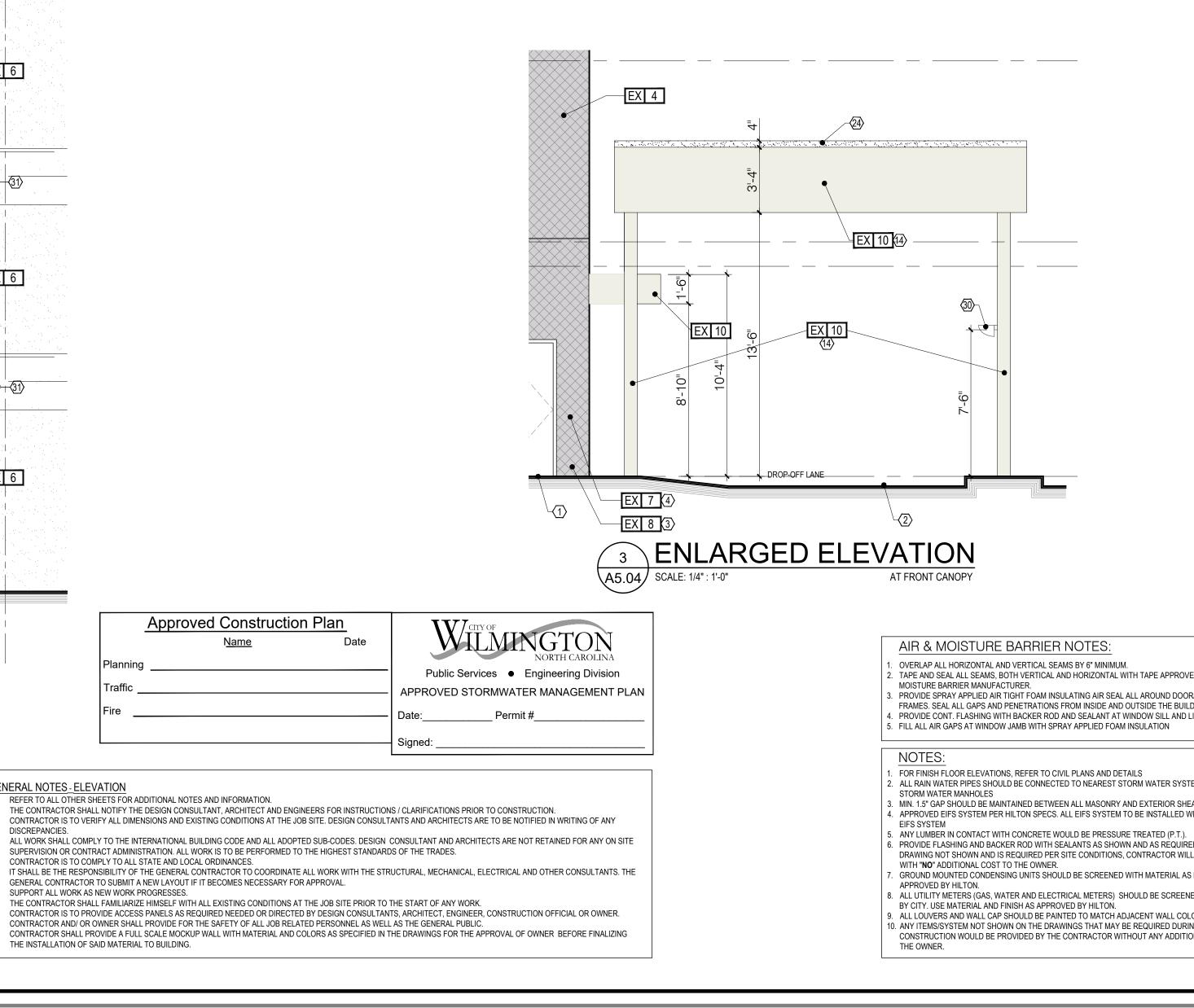
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Name

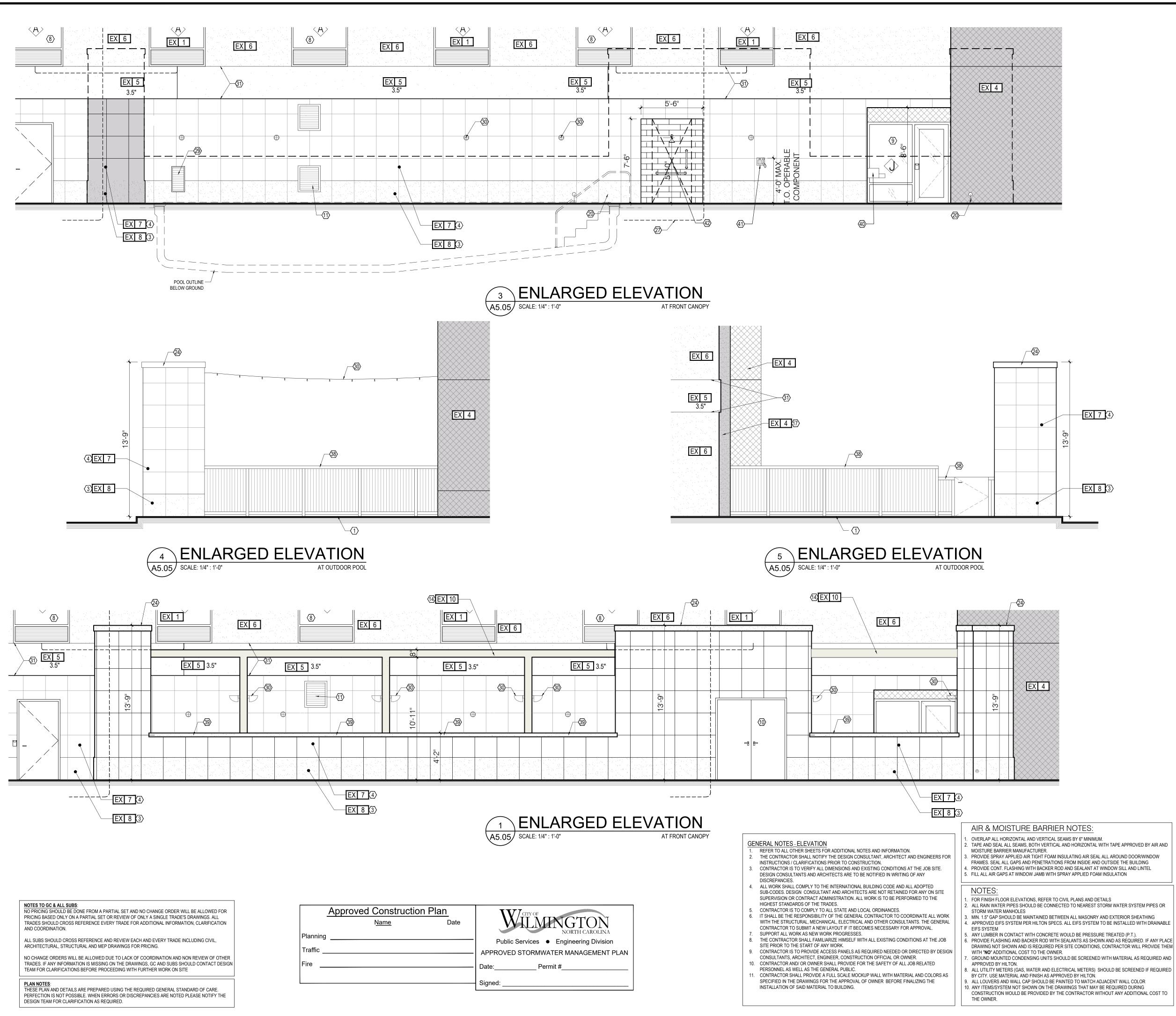






	KEY NOTES:		
	APPROXIMATE LINE OF GRADE		
	2 DRIVEWAY AND DROP-OFF BELOW CANOPY		
	(3) MASONRY OR TILE - BASE	HOME	
	$\begin{pmatrix} 4 \\ \hline 5 \end{pmatrix}$ MASONRY OR TILE - FIELD - ASHLAR PATTERN	SUITES BY HILTON	
	5     NOT USED       6     NOT USED       7     NOT USED	WILMINGTON, NC. 19-088ND	
	ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS. SEE SCHEDULE FOR GLASS TYPE.	ILMMPHT ID #55106	
	ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED	DESIGN CONSULTANTS	
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	(1) MECHANICAL LOUVER, REFER TO MECHANICAL DRAWINGS	SOLUTIONS	
	ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING	info@omdesignsolutions.com Phone: 404-740-7589	
	(13)       BEACON: GLASS CROWN: MONOLITHIC ELEMENT RESTING ON THE BAND, INTENDED         TO BE VISIBLE FROM THE SITE AND BEYOND. TRANSLUCENT WHITE GLASS OR         POLYMER, INTERNALLY LIT WITH MINIMAL, UNOBTRUSIVE STRUCTURE REFER TO		
	SECTIONS FOR INFORMATION	SUITE C, SUWANEE. GEORGIA TEL: (404) 740-7589 info@omdesignsolutions.com	
	14     PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRELLIS       15     NOT USED		
	16     DRAINABLE EIFS FINISH ON EPS FOAM OVER WEATHER BARRIER AND EXTERIOR		
	GRADE SHEATHING. SEE WALL SCHEDULE. SEE EXTERIOR FINISH INDEX FOR COLOR	ENGINEERING           1376 Church St., Ste 200, Decatur, GA 30030         Ph/Fax: 404-377-9316	
	(18)       FINISH CONTROL JOINT         (19)       OVERFLOW SCUPPER -BASIS OF DESIGN NESCO MFG INC.		
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	20       TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12" A.F.F.         21       ENVELOPE - ACCENT FINISH -REFER TO STYLE GUIDE	GET GRIFFITH	
	21/ ENVELOPE - ACCENT FINISH -REFER TO STYLE GUIDE	ATLANTA - CHARLOTTE	
	33 SIGNAGEREFER TO EXTERIOR SIGNAGE SPECIFICATIONS	4360 Chamblee Dunwoody Road, Suite 210 Atlanta, GA 30341 P (770) 451-6757, F (770) 451-6761	
	KYNAR FINISH ALUMINUM COPING SYSTEMCOLOR TO MATCH ADJACENT MATERIAL		
	25     NOT USED       REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP	PARAMOUNTE	
	MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED	ENGINEERING INC. 122 CINEMA DRIVE WILMINGTON, NC. 28403	
	27         PTAC CONDENSATE DRAIN RISER IN EXTERIOR WALL. ALL STACKED PTAC UNITS TO BE CONNECTED TO A VERTICAL STACK PIPE WHICH SHOULD DRAIN TO NEAREST STORM WATER PIPE OR INLET. GC TO PROVIDE VENTS AND TRAPS AS REQUIRED FOR THE RISER (RISER SHOWN ON ELEVATION ARE TYPICAL AND SHOULD BE PROVIDED AT ALL PTAC UNITS)	WILMINGTON, NC. 28403 PHONE: 910-791-6707	
	PAINTED LINEN CHUTE, COLOR TO MATCH ADJACENT ENVELOPE	MR. MEHUL PATEL	
	29 DRIER EXHAUST VENT COLOR TO MATCH ADJACENT MATERIAL	SUITE 101 , 130 CANAL STREET, POOLER, GA 31322	
	30       LIGHT FIXTUREREFER TO CEILING PLAN         31       EXPANSION JOINT @ FLOOR LINE AND WINDOW HEAD W/ BACKER ROD AND SEALANT		
	ALUMINUM LOUVER COLOR TO MATCH ADJACENT MATERIAL MATCHING ADJACENT		
	BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION.		
	(33) THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS.		
	(34)     CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN		
	35       ACCESS OPENING INTO BEACON         36       ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL		
	ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF		
	37       READER AT 48" MAX. HEIGHT         38       POOL PERIMETER FENCE AS REQUIRED BY CODE W/ 3'-0" GATE WITH PANIC/EXIT		
	HARDWARE		
	(39)     PRECAST COPING       (40)     HI-LO DRINKING FOUNTAIN	THE DOCUMENT, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THIS DOCUMENTS ARE THE PROPERTY OF "OM DESIGN SOLUTIONS - DESIGN CONSULTANTS" WHO RETAINS OWNERSHIP AND AUTHORSHIP OF THIS DOCUMENT IN IT'S ENTIRETY.	
	(41) EMERGENCY PHONE	THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE INTELLECTUAL AND PHYSICAL PROPERTY OF OM DESIGN SOLUTIONS.	
	42 ADA COMPLIANT STANDING SHOWER. PROVIDE TILE WALL AT SHOWER	AUTHORIZED USE OF THIS DOCUMENT IS GRANTED SOLELY FOR THE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION.	
	FINISH KEY:	REVISION # DATE REMARKS	
	EX     1     ENVELOPE - ACCENT METAL - ALUMINUM COLOR WHITE       EX     2     NOT USED		
	EX 3 ENVELOPE - WRAP - EIFS, COLOR: BENJ. MOORE AC-22, NANTUCKET FOG		
	EX 4 ENVELOPE - LINK & KEEP - EIFS, COLOR: BENJ. MOORE HC-70 VAN, BUREN BROWN		
	EX       5       ENVELOPE - ACCENT - EIFS, COLOR: BENJ. MOORE 2111-50, STONE HARBOR         EX       6       ENVELOPE - CORE - EIFS, COLOR: BENJ. MOORE 2109-40, SMOKED OYSTER	DATE ISSUED TO ISSUED FOR	
	EX       7         EX       7         EX       6         EX       7         Series Ginger-Smooth Finish	DATE         ISSUED TO         ISSUED FOR           10-14-2019         OWNER         FLOOR PLAN REVIEW           01-23-2020         HILTON         25% REVIEW	
	ENVELOPE - SUPPORT - CAST STONE. ARRISCRAFT RENAISSANCE - SERIES GINGER-ROCKED FINISH	01-23-2020         HILTON         25% REVIEW           10-16-2020         HILTON         60% SUBMITTAL	
	EX 9 BEAM: VERTICAL ELEMENT SET BACK IN PLANE FROM THE KEEP, EXTENDS TO THE GROUND.		
	COMPOSED OF THREE ELEMENTS           EX         9A         REVEAL: VERTICAL ELEMENT EXTENDING THROUGH THE KEEP,		
	EIFS, COLOR: BENJ. MOORE 398, FLOWER POWER EIFS, COLOR: BENJ. MOORE 398, FLOWER POWER EIFS, COLOR: BENJ. MOORE 398, FLOWER POWER		
	EIFS, COLOR: BENJ. MOORE 398, FLOWER POWER	PROJECT ADDRESS:	
	INTENDED TO BE VISIBLE FROM THE SITE AND BEYOND. TRANSLUCENT WHITE GLASS OR POLYMER, INTERNALLY LIT WITH MINIMAL, UNOBTRUSIVE STRUCTURE.	HOME2 SUITES	
	EX       10       ENVELOPE - CANOPY - STEEL, COLOR: BENJ. MOORE OC-17, WHITE DOVE         EIFS TYPE/THICKNESS NOTE:       INDICATES EIFS NUMBER WITH         INDICATES FOR OUT OF A LOWN A DOVE	BARCLAY WEST TRACT B	
	EX       X       INDICATES EIFS NUMBER WITH         CORRESPONDING COLORS SHOWN ABOVE       INDICATES EIFS THICKNESS. IF NO NUMBER IS	WILMINGTON, NORTH CAROLINA	
	SHOWN, THE EIFS IS 2" NOMINAL THICK		
/ED BY AIR AND	ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION SIZE, ETC. TO BE		
DR/WINDOW LDING	DETERMINED ON AN INDIVIDUAL PROJECT BASIS. • MINIMUM 3/4" PLYWOOD BACKER-BOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER		
LINTEL	<ul> <li>ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.</li> <li>ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.</li> </ul>		
]	<ul> <li>RACEWAYS/ WIREWAYS ARE NOT ALLOWED.</li> <li>PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL.</li> </ul>	BE PAPER SIZE: 24X36 (ARCH D)	
	SERVICE INSIDE PARAPET WALL. • GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICA		
TEM PIPES OR EATHING	PENETRATIONS AND/ OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT N BE OBTAINED FROM SIGN COMPANY.	Incore and a second sec	
WITH DRAINABLE	GENERAL NOTES :	SHEET NUMBER:	
RED. IF ANY PLACE LL PROVIDE THEM	1. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL GUIDE FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND SIGNAGE REQUIREMENTS.		
S REQUIRED AND	<ol> <li>2. GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.</li> <li>3. BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE</li> </ol>		
	DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.	<b>A5.04</b>	
LOR ING IONAL COST TO	<ol> <li>EIFS FINISH SYSTEM OVER MIN. 2" NOMINAL THICK EPS ON EXTERIOR SHEATHING AND APPROVED BUILDING WRAP. APPROVED MANUFACTURER PER HILTON SPECS - "WATER MASTER DRAINABLE SYSTEM" OR EQUAL TO BE USED. SEE MANUFACTURER'S SPECS. FOR</li> </ol>		
	INSTALLATION DETAILS.		

# EX 7 4 EX 8 3



$\langle 1 \rangle$				
<u> </u>	APPROXIMATE LINE OF GRADE			
$\langle 2 \rangle$	DRIVEWAY AND DROP-OFF BELOW CANOPY			
$\langle 3 \rangle$	MASONRY OR TILE - BASE		IUV	
$\langle 4 \rangle$	MASONRY OR TILE - FIELD - ASHLAR PATTERN			
$\overline{5}$	NOT USED	50	ILES BY 1	
5 6 7	NOT USED NOT USED	WI	LMINGTO	N, NC. 19-088ND
$\langle 8 \rangle$	ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH		ILMMPH	IT ID #55106
	INTEGRAL ALUMINUM LOUVER AT PTAC UNITS. SEE SCHEDULE FOR GLASS TYPE.			
$\langle 9 \rangle$	ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING. SEE SCHEDULE FOR GLASS TYPE.	DES	SIGN CO	NSULTANTS
$\langle 10 \rangle$	INSULATED HOLLOW CORE METAL DOOR. SEE DOOR WINDOW SCHEDULE			ESIGN
$\langle 11 \rangle$	MECHANICAL LOUVER, REFER TO MECHANICAL DRAWINGS			OLUTIONS
$\langle 12 \rangle$	ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING			io@omdesignsolutions.co
$\langle 12 \rangle$				none: 404-740-7589
	TO BE VISIBLE FROM THE SITE AND BEYOND. TRANSLUCENT WHITE GLASS OR POLYMER, INTERNALLY LIT WITH MINIMAL, UNOBTRUSIVE STRUCTURE REFER TO	28	385 LAWRENCEV	/ILLE SUWANEE ROAD
	SECTIONS FOR INFORMATION			WANEE. GEORGIA 404) 740-7589
(14)	PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRELLIS		info@omde:	signsolutions.com
(15)	NOT USED	STF	RUCTUR	RAL
$\langle 16 \rangle$	DRAINABLE EIFS FINISH ON EPS FOAM OVER WEATHER BARRIER AND EXTERIOR		e _	
_	GRADE SHEATHING. SEE WALL SCHEDULE. SEE EXTERIOR FINISH INDEX FOR COLOR.		е 5-	TABILITY
(17)	DRAINABLE EIFS FINISH ON EPS FOAM OVER WEATHER BARRIER AND EXTERIOR GRADE SHEATHING. SEE WALL SCHEDULE. SEE EXTERIOR FINISH INDEX FOR COLOR.	$    \cup$		IGINEERING
(18)	FINISH CONTROL JOINT	1376 Chu	urch St., Ste 200, Deca	tur, GA 30030 Ph/Fax: 404-377-931
	OVERFLOW SCUPPER -BASIS OF DESIGN NESCO MFG INC.	ME	 >	
	- MODEL # SCT914R REFER ALSO TO DETAIL 6J/A6.12			
20	TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT +12" A.F.F.		GRII	FFITH
(21)	ENVELOPE - ACCENT FINISH -REFER TO STYLE GUIDE		ENGIN	EERING
<22>	ENVELOPE - ACCENT FINISH -REFER TO STYLE GUIDE		ATLANTA - CHARI	
23	SIGNAGEREFER TO EXTERIOR SIGNAGE SPECIFICATIONS	43	Atlanta,	woody Road, Suite 210 GA 30341 7, F (770) 451-6761
<u></u> (24)	KYNAR FINISH ALUMINUM COPING SYSTEMCOLOR TO MATCH ADJACENT MATERIAL		~ /	,- () 101-0101
 (25)	NOT USED	CIV	IL	
$\subseteq$	REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP			
<26>	MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED		122 CIN	ERING INC. EMA DRIVE
<b>(</b> 27)	PTAC CONDENSATE DRAIN RISER IN EXTERIOR WALL. ALL STACKED PTAC UNITS TO BE CONNECTED TO A VERTICAL STACK PIPE WHICH SHOULD DRAIN TO NEAREST			TON, NC. 28403 910-791-6707
	STORM WATER PIPE OR INLET. GC TO PROVIDE VENTS AND TRAPS AS REQUIRED FOR THE RISER (RISER SHOWN ON ELEVATION ARE TYPICAL AND SHOULD BE			
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$\langle 28 \rangle$	PAINTED LINEN CHUTE, COLOR TO MATCH ADJACENT ENVELOPE	cī		HUL PATEL 0 CANAL STREET,
(29)	DRIER EXHAUST VENT COLOR TO MATCH ADJACENT MATERIAL			R, GA 31322
(30)	LIGHT FIXTUREREFER TO CEILING PLAN			
(31)	EXPANSION JOINT @ FLOOR LINE AND WINDOW HEAD W/ BACKER ROD AND SEALANT			
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38 39 40 41	ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX. HEIGHT POOL PERIMETER FENCE AS REQUIRED BY CODE W/ 3'-0" GATE WITH PANIC/EXIT HARDWARE PRECAST COPING	ON THIS DOCU CONSULTANT IT'S ENTIRETY THIS DOCUME PHYSICAL PRO	UMENTS ARE THE PROPE S" WHO RETAINS OWNER '. ENT IS AN INSTRUMENT O OPERTY OF OM DESIGN S	RTY OF "OM DESIGN SOLUTIONS - DESIG SHIP AND AUTHORSHIP OF THIS DOCUME F SERVICE AND IS THE INTELLECTUAL AN SOLUTIONS.
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